

Amended



Southwest Ranches Town Council

REGULAR MEETING
Agenda of April 25, 2019

Southwest Ranches Council Chambers
7:00 PM Thursday

13400 Griffin Road
Southwest Ranches, FL 33330

Mayor Doug McKay	Town Council Freddy Fisikelli Bob Hartmann	Town Administrator Andrew D. Berns	Town Attorney Keith M. Poliakoff, J.D.
Vice Mayor Gary Jablonski	Denise Schroeder	Town Financial Administrator Martin Sherwood, CPA CGFO	Assistant Town Administrator/Town Clerk Russell C. Muniz, MMC

In accordance with the Americans with Disabilities Act of 1990, persons needing special accommodation, a sign language interpreter or hearing impaired to participate in this proceeding should contact the Town Clerk at (954) 434-0008 for assistance no later than four days prior to the meeting.

- 1. Call to Order/Roll Call**
- 2. Pledge of Allegiance**
- 3. Arbor Day Proclamation and SEAB Student Art Exhibition**

Quasi-Judicial Hearings

Please be advised that the following item on the Council agenda is quasi-judicial in nature. All witnesses who will testify on any item in this portion of the Agenda will be sworn. Participants who are members of the general public need not be sworn and will not be subject to cross-examination if they are not sworn. However, the Council shall not assign un-sworn testimony the same weight or credibility as sworn testimony in its deliberations.

The applicant has the burden of proof. After the applicant's concluding remarks, the hearing will be closed and no additional testimony, material or argument will be allowed unless the Council chooses to request additional testimony. The members of the Town Council will then deliberate.

All evidence relied upon by reasonably prudent persons in the conduct of their affairs may be considered in these proceedings, regardless of whether such evidence would be admissible in a court. Hearsay evidence may supplement or explain other evidence, but shall not alone support a conclusion unless it would be admissible over objection in court. The material in the Town Council agenda will be considered as evidence without authentication.

Anyone representing an organization must present written evidence of his or her authority to speak on behalf of the organization in regard to the matter under consideration. Each person who appears during a public hearing shall identify himself



or herself and give their address, and if appearing on behalf of an organization state the name and mailing address of the organization. The Council may, on its own motion or at the request of any person, continue the hearing to a fixed date, time and place.

No notice shall be required if a hearing is continued to a fixed date, time and place. Any Applicant shall have the right to request and be granted one continuance; however, all subsequent continuance shall be granted at the discretion of the Council and only upon good cause shown.

4. Site Plan Modification - New Horizon Church

A RESOLUTION AND FINAL ORDER OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING APPLICATION NO. SP-70-18 BY NEW HORIZON UNITED METHODIST CHURCH, INC. TO AMEND ITS EXISTING SITE PLAN TO CONSTRUCT A MISSION BUILDING; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE. **{ITEM TABLED FROM APRIL 11, 2019}**

5. Site Plan Modification - Sikh Society of Florida, Inc.

A RESOLUTION AND FINAL ORDER OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING APPLICATION NO. SP-71-18 BY THE SIKH SOCIETY OF FLORIDA, INC. TO AMEND ITS EXISTING SITE PLAN TO ADD AN ADDITIONAL 2,287 SQUARE FEET OF BUILDING AREA TO THE EXISTING FACILITY; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE. **{ITEM TABLED FROM APRIL 11, 2019}**

6. Site Plan Re-approval - Terra Ranches

A RESOLUTION AND FINAL ORDER OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, RE-APPROVING THE EXPIRED TERRA RANCHES SITE PLAN; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE THEREFOR.

7. Release of Declaration of Restrictive Covenants - Terra Ranches

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, RELEASING A DECLARATION OF RESTRICTIVE COVENANTS BY TERRA RANCHES INVESTMENTS, LLC ADVISING POTENTIAL PURCHASERS OF LOTS WITHIN THE TERRA RANCHES PLAT OF AN ADJACENT AIRSTRIP; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE THEREFOR.

8. Site Plan Modification - Menorah Gardens Mausoleum



A RESOLUTION AND FINAL ORDER OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING APPLICATION NO. SP-67-18 TO AMEND THE MENORAH GARDENS SITE PLAN FOR CONSTRUCTION OF ANA RESOLUTION AND FINAL ORDER OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING APPLICATION NO. SP-67-18 TO AMEND THE MENORAH GARDENS SITE PLAN FOR CONSTRUCTION OF AN EIGHTH MAUSOLEUM; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE. EIGHTH MAUSOLEUM; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE.

9. Public Comment

- All Speakers are limited to 3 minutes.
- Public Comment will last for 30 minutes.
- All comments must be on non-agenda items.
- All Speakers must fill out a request card prior to speaking.
- All Speakers must state first name, last name, and mailing address.
- Speakers will be called in the order the request cards were received.
- Request cards will only be received until the first five minutes of public comment have concluded.

10. Board Reports

11. Council Member Comments

12. Legal Comments

13. Administration Comments

Resolutions

14. A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING THE 2019 AMENDMENTS TO THE TWO (2) INTERLOCAL AGREEMENTS WITH BROWARD COUNTY PROVIDING FOR THE DIVISION AND DISTRIBUTION OF THE PROCEEDS OF THE BROWARD COUNTY FIFTH-CENT LOCAL OPTION GAS TAX, AND THE ADDITIONAL THIRD-CENT LOCAL OPTION GAS TAX; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR AND TOWN ATTORNEY TO EXECUTE SAID AGREEMENTS; AND PROVIDING AN EFFECTIVE DATE.

15. A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA REAFFIRMING THE TOWN'S OPPOSITION TO THE OIL DRILLING PERMIT APPLICATION SUBMITTED BY KANTER REAL ESTATE LLC, A FLORIDA FOR PROFIT LIMITED LIABILITY CORPORATION, TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION SEEKING OIL DRILLING RIGHTS ON PROPERTY LOCATED IN THE FLORIDA EVERGLADES, APPROXIMATELY FIVE MILES WEST OF THE WESTERMOST BOUNDARY OF THE SOUTH BROWARD DRAINAGE DISTRICT'S JURISDICTIONAL LIMITS IN CLOSE PROXIMITY TO THE L-67A LEVEE CANAL, AND SUPPORTING EFFORTS OF THE



SOUTH BROWARD DRAINAGE DISTRICT OPPOSING EXTREME WELL STIMULATION, HYDRAULIC FRACTURING, ACID FRACTURING, AND ANY FORM OF EXTREME WELL STIMULATION FOR PURPOSES OF OIL EXTRACTION IN THE FLORIDA EVERGLADES; AND PROVIDING FOR AN EFFECTIVE DATE.

16. Appointments

- a. **BLOC Appointment - {ITEM TABLED FROM APRIL 11, 2019}**
- b. **Comprehensive Planning Advisory Board - At Large {ITEM TABLED FROM APRIL 11, 2019}**

17. Adjournment

PURSUANT TO FLORIDA STATUTES 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS COUNCIL WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE OR SHE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE, THE AFFECTED PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHERWISE INADMISSIBLE OR IRRELEVANT EVIDENCE, NOR DOES IT AUTHORIZE CHALLENGES OR APPEALS NOT OTHERWISE ALLOWED BY LAW.





Town of Southwest Ranches
13400 Griffin Road
Southwest Ranches, FL 33330-2628

(954) 434-0008 Town Hall
(954) 434-1490 Fax

Town Council
Doug McKay, *Mayor*
Gary Jablonski, *Vice Mayor*
Freddy Fisikelli, *Council Member*
Bob Hartmann, *Council Member*
Denise Schroeder, *Council Member*

Andrew D. Berns, *Town Administrator*
Keith M. Poliakoff, *JD, Town Attorney*
Russell Muniz, *Assistant Town Administrator/Town Clerk*
Martin D. Sherwood, *CPA, CGMA, CGFO, Town Financial Administrator*

COUNCIL MEMORANDUM

TO: Honorable Mayor McKay and Town Council
VIA: Andrew D. Berns, Town Administrator
FROM: December Lauretano-Haines, Parks Recreation, and Open Space Manager
DATE: 4/25/2019
SUBJECT: Arbor Day Proclamation and SEAB Student Art Exhibition

Recommendation

This proclamation re-establishing the third Friday in January as Southwest Ranches' Arbor Day encouraging residents to observe both Southwest Ranches Arbor Day in January as well as National Arbor Day in April, and celebrating student artwork in honor of the Arbor Day holidays, offered for your consideration and approval.

Unanimous Vote of the Town Council Required?

No

Strategic Priorities

E. Cultivate a Vibrant Community

Background

In December 2007, the Town Council issued a proclamation that every third Friday in January is recognized as Arbor Day in the Town of Southwest Ranches. This proclamation was part of the Town's original application to become a designated "Tree City, USA".

Fiscal Impact/Analysis

In our annual application for recertification of the Tree City USA designation, the Town is required to annually observe Arbor Day by way of a proclamation and community Arbor Day events.

The Town has just completed our 12th year as a designated Tree City USA. This status has proved helpful in favorable weighting of our applications for tree planting and maintenance grants.

The Town's Schools and Education Advisory Board partners with the local schools to encourage student awareness of National Arbor Day in April by creating a Town Art Exhibition. This activity brings further awareness of the holiday and enhances the residents' experience at Town Hall with a charming display of the student artwork in the month surrounding the event.

The Town's observances of Southwest Ranches and National Arbor Day incur minimal expense annually – generally below \$400 each year. These expenses are coded from the General Fund, Executive Department, Town Events line item, which has a budget of twenty-two thousand, five hundred dollars (\$22,500.00) dedicated for promotional activities and Town events.

Staff Contact:

December Lauretano-Haines, Parks Recreation and Open Space Manager

ATTACHMENTS:

Description	Upload Date	Type
Proclamation	4/9/2019	Presentation
Staff Memo	4/19/2019	Executive Summary

PROCLAMATION

CELEBRATING ARBOR DAY IN SOUTHWEST RANCHES

WHEREAS, in 1872, Sterling Morton Proposed to the Nebraska Board of Agriculture that a special day be set aside for the planting of trees; and

WHEREAS, this holiday, called Arbor Day, is now observed throughout the Nation and the world; and

WHEREAS, in accordance with the Policies and Goals of the Town of Southwest Ranches' Comprehensive Plan, Adopted May 8, 2003, the Town set forth measurable objectives for the protection and enhancement of critical ecological systems integral to South Florida's and the Town's natural environment, including the maintenance and improvement of Air Quality by increasing tree coverage in the Town and by meeting the standards to become recognized by the National Arbor Day Foundation as a "Tree City USA;" and

WHEREAS, on December 20, 2007, Southwest Ranches was recognized as a Tree City USA; and

WHEREAS, Southwest Ranches has continued to meet all standards and requirements for continuing designation as Tree City USA, and will be recognized in 2019 for its thirteenth consecutive year; and

WHEREAS, annual celebration of Arbor Day provides direction for management of the Town's tree resources, encourages public education about tree care, and promotes a sense of pride in the community; and

WHEREAS, trees reduce the erosion of topsoil, cut heating and cooling costs, moderate the temperature, clean the air, produce life-giving oxygen, and provide habitat for wildlife; and

WHEREAS, trees in our Town increase property values, enhance the economic vitality of business areas, and beautify our community.

NOW, THEREFORE, the Mayor and Town Council do hereby proclaim that annually, the third Friday in January shall be recognized as **Arbor Day** in the Town of Southwest Ranches. Further the Council urges all citizens to celebrate **National Arbor Day** annually on the last Friday in April, to support efforts to protect our tree resources, and to plant trees to gladden the heart and promote the well-being of this and future generations.

Dated this 25th day of April, 2019

DOUG McKAY, MAYOR

**This page
intentionally left blank**



Town of Southwest Ranches
13400 Griffin Road
Southwest Ranches, FL 33330-2628

(954) 434-0008 Town Hall
(954) 434-1490 Fax

Town Council
Doug McKay, Mayor
Gary Jablonski, Vice Mayor
Freddy Fisikelli, Council Member
Bob Hartmann, Council Member
Dee Schroeder, Council Member

Andrew D. Berns, Town Administrator
Keith M. Poliakoff, JD, Town Attorney
Russell Muñiz, Assistant Town Administrator
Martin D. Sherwood, CPA, CGMA, CGFO, Town Financial Administrator

COUNCIL MEMORANDUM

TO: Honorable Mayor McKay and Town Council

THRU: Andrew D. Berns, Town Administrator

FROM: December Lauretano-Haines
Parks Recreation and Open Space Manager

DATE: April 25, 2019

SUBJECT: 2019 Arbor Day Proclamation and SEAB Student Art Exhibition

Recommendation

This proclamation re-establishing the third Friday in January as Southwest Ranches' Arbor Day, encouraging residents to observe both Southwest Ranches Arbor Day in January as well as National Arbor Day in April, and celebrating student artwork in honor of the Arbor Day holidays, is offered for your consideration and approval.

Strategic Priorities

This item supports the following strategic priority as identified in the Town's adopted strategic plan.

E. Cultivate A Vibrant Community

Background

In December 2007, the Town Council issued a proclamation that every third Friday in January be recognized as Arbor Day in the Town of Southwest Ranches. This proclamation was part of the Town's original application to become a designated "Tree City, USA".

Fiscal Impact/Analysis

In our annual application for recertification of the Tree City USA designation, the Town is required to annually observe Arbor Day by way of a proclamation and community Arbor Day events.

The Town has just completed our 12th year as a designated Tree City USA. This status has proven helpful in favorable weighting of our applications for tree planting and maintenance grants.

The Town's Schools and Education Advisory Board partners with the local schools to encourage student awareness of National Arbor Day in April by creating a Town Art Exhibition. This activity brings further awareness of the holiday and enhances the residents' experience at Town Hall with a charming display of the student artwork in the month surrounding the event.

The Town's observances of Southwest Ranches and National Arbor Day incur minimal expense annually – generally below \$400 each year. These expenses are coded from the General Fund, Executive Department, Town Events line item, which has a budget of twenty-two thousand, five hundred dollars (\$22,500.00) dedicated for promotional activities and Town events.

Staff Contact:

December Lauretano-Haines, Parks Recreation and Open Space Manager



Town of Southwest Ranches
13400 Griffin Road
Southwest Ranches, FL 33330-2628

(954) 434-0008 Town Hall
(954) 434-1490 Fax

Town Council
Doug McKay, *Mayor*
Gary Jablonski, *Vice Mayor*
Freddy Fisikelli, *Council Member*
Bob Hartmann, *Council Member*
Denise Schroeder, *Council Member*

Andrew D. Berns, *Town Administrator*
Keith M. Poliakoff, *JD, Town Attorney*
Russell Muniz, *Assistant Town Administrator/Town Clerk*
Martin D. Sherwood, *CPA, CGMA, CGFO, Town Financial Administrator*

COUNCIL MEMORANDUM

TO: Honorable Mayor McKay and Town Council
VIA: Andy Berns
FROM: Jeff Katims
DATE: 4/25/2019
SUBJECT: Site Plan Modification - New Horizon Church

Recommendation

Staff recommends approval, with conditions.

Unanimous Vote of the Town Council Required?

Yes

Strategic Priorities

A. Sound Governance

Background

New Horizon Church requests approval of a 4,708 square-foot mission building next to the existing church buildings. The building includes offices, meeting space and storage. The application also includes additional landscaping and lighting upgrades to comply with the Town's Dark Sky Ordinance. No additional parking is required or proposed.

Fiscal Impact/Analysis

N/A

Staff Contact:

Jeff Katims, AICP, CNU-A

ATTACHMENTS:

Description	Upload Date	Type
New Horizon Reso - TA Approved	4/3/2019	Resolution
Staff Report	4/3/2019	Backup Material
Mail notice radius map	4/2/2019	Backup Material
Mailing list	4/2/2019	Backup Material
Site Plan & Architectural Drawings	4/3/2019	Exhibit
Landscape Plans	4/3/2019	Exhibit
Engineering Drawings	4/3/2019	Exhibit
Photometric Plan	4/3/2019	Exhibit

RESOLUTION NO. 2019-_____

A RESOLUTION AND FINAL ORDER OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING APPLICATION NO. SP-70-18 BY NEW HORIZON UNITED METHODIST CHURCH, INC. TO AMEND ITS EXISTING SITE PLAN TO CONSTRUCT A MISSION BUILDING; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, New Horizon United Methodist Church, Inc. is the current owner ("Owner") of the property legally described as the South ½ of Tract "A", New Horizon United Methodist Church, according to the plat thereof recorded in Plat Book 122, Page 46 of the Broward County, Florida Public Records ("Property"); and

WHEREAS, Owner requests modification of its existing approved site plan to construct a 4,708 square-foot mission building to be used in conjunction with its existing 16,870 square-foot fellowship hall and classroom buildings. Further, Owner will make landscape improvements, will relocate its dumpster, and will comply with the Town's Dark Sky Ordinance; and

WHEREAS, the Town Council of the Town of Southwest Ranches, Florida ("Town Council") finds that the proposed site plan amendment complies with the requirements of the Town's Unified Land Development Code ("ULDC").

NOW, THEREFORE BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA:

Section 1. That the foregoing "WHEREAS" clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this Resolution.

Section 2. That, upon reviewing the application, analysis of the Town Staff, testimony, and the evidence submitted at a duly noticed public hearing held on April 11, 2019 the Town Council hereby approves Site Plan Modification Application No. SP-070-18, in accordance with the following stipulated conditions:

1. Removal of invasive trees on the subject site prior to issuance of a building permit.

2. Certification of actual lighting values by a qualified engineer in conformance with the photometric plan prior to issuance of a C.O.

Section 3. The Mayor, Town Administrator and Town Attorney are each authorized to execute any and all documents necessary to effectuate the intent of this Resolution.

Section 4. This Resolution shall become effective immediately upon adoption.

PASSED AND ADOPTED by the Town Council of the Town of Southwest

Ranches, Florida, this ___ day of _____, 2019, on a motion by _____

and seconded by _____.

McKay	_____	Ayes	_____
Jablonski	_____	Nays	_____
Fisikelli	_____	Absent	_____
Hartman	_____	Abstaining	_____
Schroeder	_____		

Doug McKay, Mayor

ATTEST:

Russell Muniz, Assistant Town Administrator/Town Clerk

Approved as to Form and Correctness:

Keith Poliakoff, Town Attorney

34725006.1

**TOWN OF SOUTHWEST RANCHES
TOWN COUNCIL AGENDA REPORT**

- DATE:** April 11, 2019
- SUBJECT:** Site Plan Application SP-70-18; New Horizon United Methodist Church, Inc.
- ADDRESS:** 5741 South Flamingo Road, Southwest Ranches, FL
- LOCATION:** West of South Flamingo Road and north of Stirling Road
- ZONING:** CF, Community Facility
- FUTURE LAND USE:** Community Facilities
- AGENT:** Square One Architecture, Inc.
- OWNER/
PETITIONER:** New Horizon United Methodist Church, Inc.
- REQUEST:** Site plan modification for a new mission building, relocated dumpster enclosure and landscape improvements.
- EXHIBITS:** Staff Report, Aerial Photograph, Mail Notification Radius Map, and Mailing List.

BACKGROUND

The New Horizon United Methodist Church ("Petitioner") owns 14.92 acres between St. Marks Church to the north and Potential Church in Cooper City to the south. The Flamingo Road corridor is to the east and a residence within Southwest Ranches is to the west. A frontage road within the New Horizon property runs parallel to Flamingo Road, connecting it with St. Marks Church and Archbishop McCarthy High School to the north. The frontage road becomes SW 58th Street as it turns west along the southern boundary of the New Horizon property, providing access to two residential properties within the Town.

All of New Horizon's facilities are located on a single 5.03-acre tract ("Subject Site"). The remaining 9.89 acres are undeveloped and are unaffected by this Application. The subject site comprises the south half of the New Horizon Methodist Church Plat, which allows church-related uses without limiting the amount of building area.

MODIFICATION REQUEST AND ANALYSIS

Request. The Petitioner requests approval of a mission building adjacent to the existing fellowship hall and classroom building. The building is designed for 4,708 square feet of office, assembly and storage use within a 3,490 square-foot ground floor and 1,218 square-foot partial second floor. The mission building replaces a 1,200 square-foot modular church office that was removed in 2016.

Site development standards. The new building would bring the total building area on the subject site to 21,578 square feet, resulting in a Floor Area Ratio of 0.98 where a maximum of 0.35 is permitted (complies), a plot coverage of 8.1% where a maximum of 35% is permitted (complies), and an impervious area of 54.6% where a maximum of 60% is permitted (complies). The building substantially exceeds the minimum setback requirements on all sides.

Parking. A total of 96 parking spaces are required for the existing facilities based upon the code requirement of one space per 50 square feet of public assembly area. Implicit in the code requirement is that ancillary facilities are either not used concurrent with the main worship area, or do not generate substantial need for parking, such as Sunday school classrooms and administrative offices. The existing 152 onsite parking spaces are sufficient to accommodate full use of the public assembly facilities, including the approximately 1,800 square-feet of new assembly area in the mission hall, as well as the Sunday school classrooms. Together, these facilities would require 148 parking spaces, resulting in a 4-space surplus.

Architecture. The proposed mission building features a sloping, blue standing-seam metal roof. The roof height of 27 feet and 2 inches to its highest point complies with the 35-foot height limit in the CF District.

Landscaping. The site plan provides southern live oaks and a hedge between the parking lot and Flamingo Road canal, a hedge in between the existing fellowship building and SW 58th Street, and foundation landscaping on the west and east sides of the proposed mission building. Invasive trees will be removed prior to issuance of a building permit.

The existing dumpster will be relocated from its current location, in front of the proposed mission building, to the northwest side of the parking area, and will have an opaque 6.5-foot-high enclosure with firebush shrubs along the perimeter to providing screening.

Lighting. The Petitioner is replacing its noncompliant parking lot fixtures with full-cutoff fixtures that will result in no light spillover onto abutting properties and rights-of-way.

Outside agency approvals. The Central Broward Water Control District and Fire Marshall have approved the site plan modification.

STAFF RECOMMENDATION:

Staff finds that Application No. SP-70-18 complies with the applicable requirements of the Unified Land Development code, and recommends approval subject to the following conditions:

1. Removal of invasive trees on the subject site prior to issuance of a building permit.
2. Certification of actual lighting values by a qualified engineer in conformance with the photometric plan prior to issuance of a C.O.

AERIAL MAP

**This page
intentionally left blank**



-  Southwest Ranches Boundary
-  5741 S. Flamingo Road
-  Southwest Ranches Parcels

Aerial Map | New Horizon United Methodist Church
5741 S. Flamingo Road



-  1,500 Ft Notice Area
-  Southwest Ranches Boundary
-  5741 S. Flamingo Road

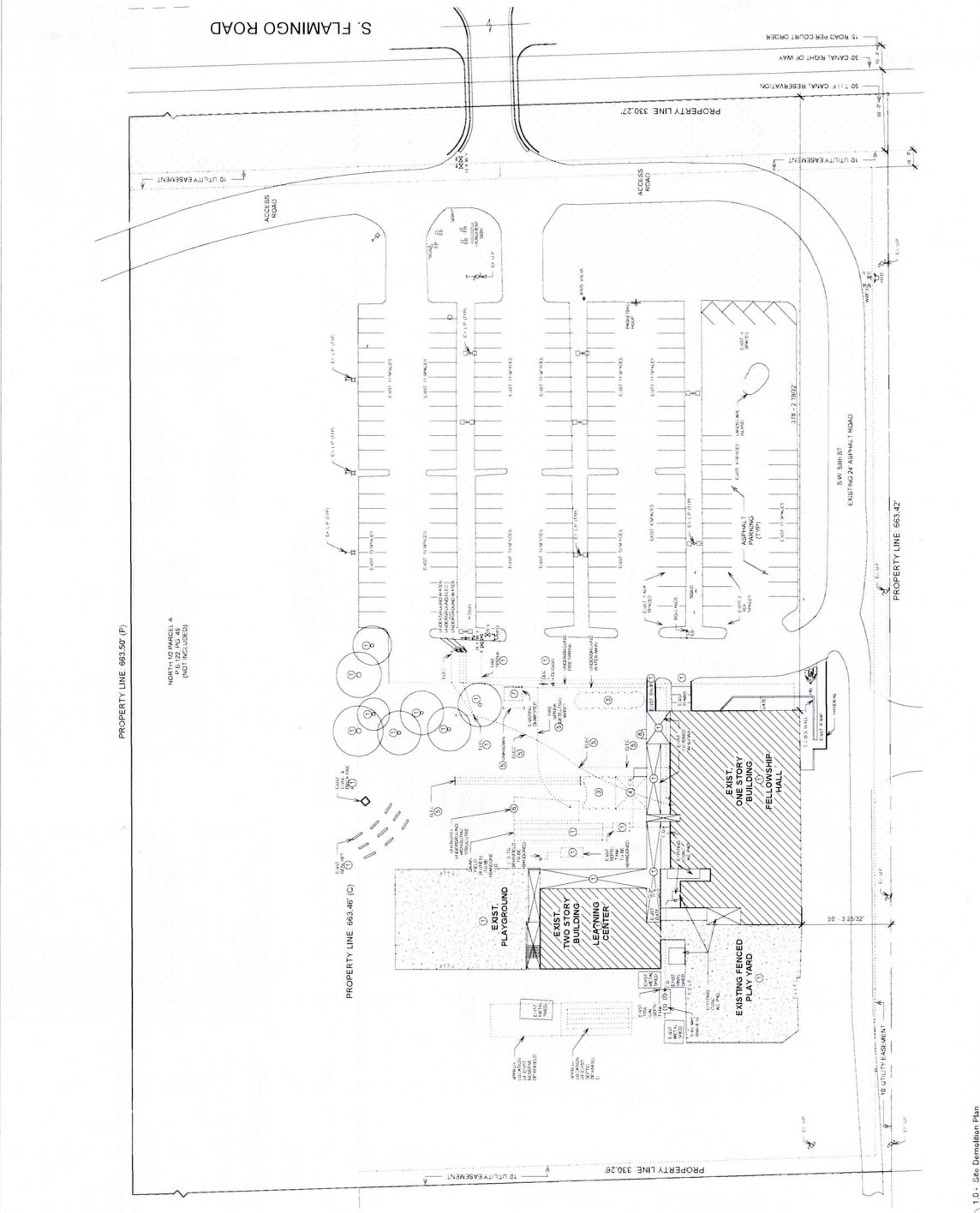
Location Map | New Horizon United Methodist Church
5741 S. Flamingo Road

BCPA_TAX_ROLL.NAME_LINE_1	BCPA_TAX_ROLL.NAME_LINE_2
MILLER,RICHARD	
NEW HORIZON UNITED METHODIST CHURCH INC	
SCHWARTZ,STEPHEN	
RHODES,PAMELA SEGAL H/E	RHODES,JACOB
KRUTCHIK,JONATHAN A & TAMMY	
GAM LAND INVESTMENTS LLC	
ALONSO,ARMANDO	
RATLIFF,BARBARA H/E	RATLIFF,TODD
WINNER,STEVEN A & NANCY B	
JENKS,JONATHAN E	
GAM LAND INVESTMENTS LLC	
ARCHDIOCESE OF MIAMI	ST MARK CHURCH
MEARS,ALBERT C SR	ALBERT C MEARS SR REV LIV TR
ARIN,ESRA	
SHERIDAN HOUSE INC	
GAM LAND INVESTMENTS LLC	
ENGLISH,JENNIFER A	
CALLAWAY,ROBERT L JR & PATRICIA	
SAMUELSON,WALTER T &	SAMUELSON,LUANN M
ARCHDIOCESE OF MIAMI	ST MARK CHURCH
HAY,SCOTT ALAN	
ARCHDIOCESE OF MIAMI	EDWARD A. MCCARTHY H.S.
JENSEN,DAMARIS & STEVE	
MCCARTNEY,SHELDON W	
FAHIMIPOUR,MEHRDAD & COTY	
ARCHDIOCESE OF MIAMI	ST MARK CHURCH
NEW HORIZON UNITED METHODIST	CHURCH INC
LOPEZ,JENNIFER N	JENNIFER N LOPEZ TR
DISBERGEN,GERRIT	
MILLER,RICHARD	
FRENCH,RICHARD D & KAREN R	
NEW HORIZON UNITED METHODIST	CHURCH INC
ANDRADE,MARIANO & CLAUDIA XUE	
PEACEFUL HAVEN RANCH GROUP F INC	
PEACEFUL HAVEN RANCH GROUP F INC	
POTENTIAL CHURCH INC	%FINANCE DEPARTMENT
VOLUNTEER REALTY CO	
TOWN OF SOUTHWEST RANCHES	
TOWN OF SOUTHWEST RANCHES	
EVERGLADES SUGAR & LAND CO LLC	
BLAIR,MARY ANN H/E	BLAIR,OLIVER ANDREW ETAL
POTENTIAL CHURCH INC	%FINANCE DEPARTMENT
GEARY,MICHAEL S & LAURA V	
FERNANDEZ,FRANCISCO M	GONZALEZ-FERNANDEZ,ODALIS P
5741 SW 127 AVENUE LLC	
PORTELA,FERNANDO & DARYL	
FERNANDEZ,ALEXANDER & LOURDES	

BCPA_TAX_ROLL.ADDRESS_LINE_1	BCPA_TAX_ROLL.CITY
12850 SW 56TH ST	SOUTHWEST RANCHES
5741 S FLAMINGO ROAD	SOUTHWEST RANCHES
5750 SW 127 AVE	SOUTHWEST RANCHES
12851 STIRLING ROAD	SOUTHWEST RANCHES
5780 SW 128 AVE	SOUTHWEST RANCHES
2700 SW 64 AVE	DAVIE
1704 SW 142 AVE	FORT LAUDERDALE
5800 SW 130 AVE	SOUTHWEST RANCHES
5951 SW 127 AVE	SOUTHWEST RANCHES
12851 SW 56 ST	SOUTHWEST RANCHES
2700 SW 64 AVE	DAVIE
9401 BISCAYNE BLVD	MIAMI SHORES
5740 SW 130 AVE	SOUTHWEST RANCHES
4157 IMPERIAL WAY	PROVO
1700 S FLAMINGO RD	DAVIE
2700 SW 64 AVE	DAVIE
5810 SW 130TH AVE	SOUTHWEST RANCHES
5490 SW 128TH AVE	SOUTHWEST RANCHES
12737 EQUESTRIAN TR	DAVIE
9401 BISCAYNE BLVD	MIAMI SHORES
12751 SW 56 ST	SOUTHWEST RANCHES
9401 BISCAYNE BLVD	MIAMI SHORES
5925 SW 128 AVE	SOUTHWEST RANCHES
5790 SW 130 AVE	SOUTHWEST RANCHES
1826 SW 195 AVE	MIRAMAR
9401 BISCAYNE BLVD	MIAMI SHORES
5741 S FLAMINGO ROAD	SOUTHWEST RANCHES
5742 SW 130 AVE	SOUTHWEST RANCHES
12401 SW 58 ST	SOUTHWEST RANCHES
5700 SW 130TH AVE	SOUTHWEST RANCHES
5950 SW 127 AVE	SOUTHWEST RANCHES
5741 S FLAMINGO ROAD	SOUTHWEST RANCHES
6001 APPALOOSA TRL	SOUTHWEST RANCHES
12601 STIRLING ROAD	SOUTHWEST RANCHES
12601 STIRLING ROAD	SOUTHWEST RANCHES
12401 STIRLING ROAD	SOUTHWEST RANCHES
4900 DAVIE ROAD	COOPER CITY
13400 GRIFFIN RD	DAVIE
13400 GRIFFIN RD	SOUTHWEST RANCHES
5361 NW 110 AVE	SOUTHWEST RANCHES
6011 SW 127 AVE	MIAMI
12401 STIRLING ROAD	SOUTHWEST RANCHES
5990 SW 127TH AVE	COOPER CITY
14011 NW 13 ST	SOUTHWEST RANCHES
5700 GRIFFIN RD #200	PEMBROKE PINES
5801 SW 127 AVE	DAVIE
5920 SW 127 AVE	SOUTHWEST RANCHES
	SOUTHWEST RANCHES

No.	Description	Date
1	Site Plan Approval	05/21/13

John Nemery, CPA
 Florida Architect AB025545
Site Demolition Plan
 Date: 11/30/2018
 Drawn by: LEA
D010
 Scale: As Indicated



CDP/PROJECT 2017

SITE DEMOLITION LEGEND

	EXISTING BUILDINGS
	UNDERGROUND UTILITIES
	DEMOLISH

- SITE DEMOLITION PLAN NOTES**
1. EXISTING. DO NOT DISTURB.
 2. N.A.
 3. REMOVE EXISTING ORNAMENTAL LANDSCAPE.
 4. REMOVE EXISTING WOODEN DECK.
 5. REMOVE AND RELOCATE EXISTING UNDERGROUND UTILITY SERVICE.
 6. REMOVE EXISTING CONCRETE FOUNDATION POLYETHYLENE STRUCTURE.
 7. REMOVE EXISTING DUMPSTER & FENCE.
 8. REMOVE EXISTING CONCRETE SLAB.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE FOUND IN THE FIELD.

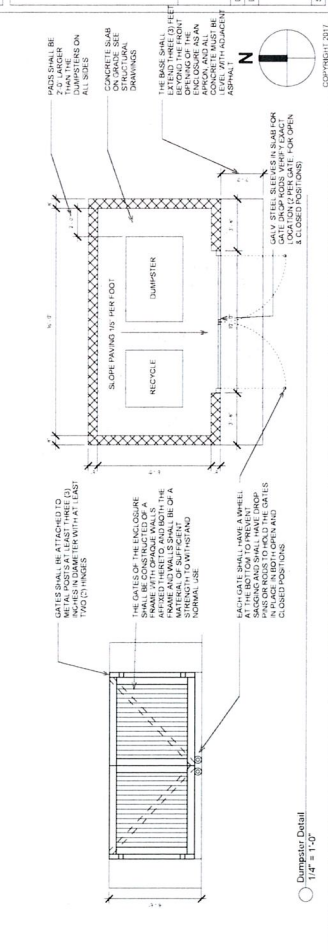
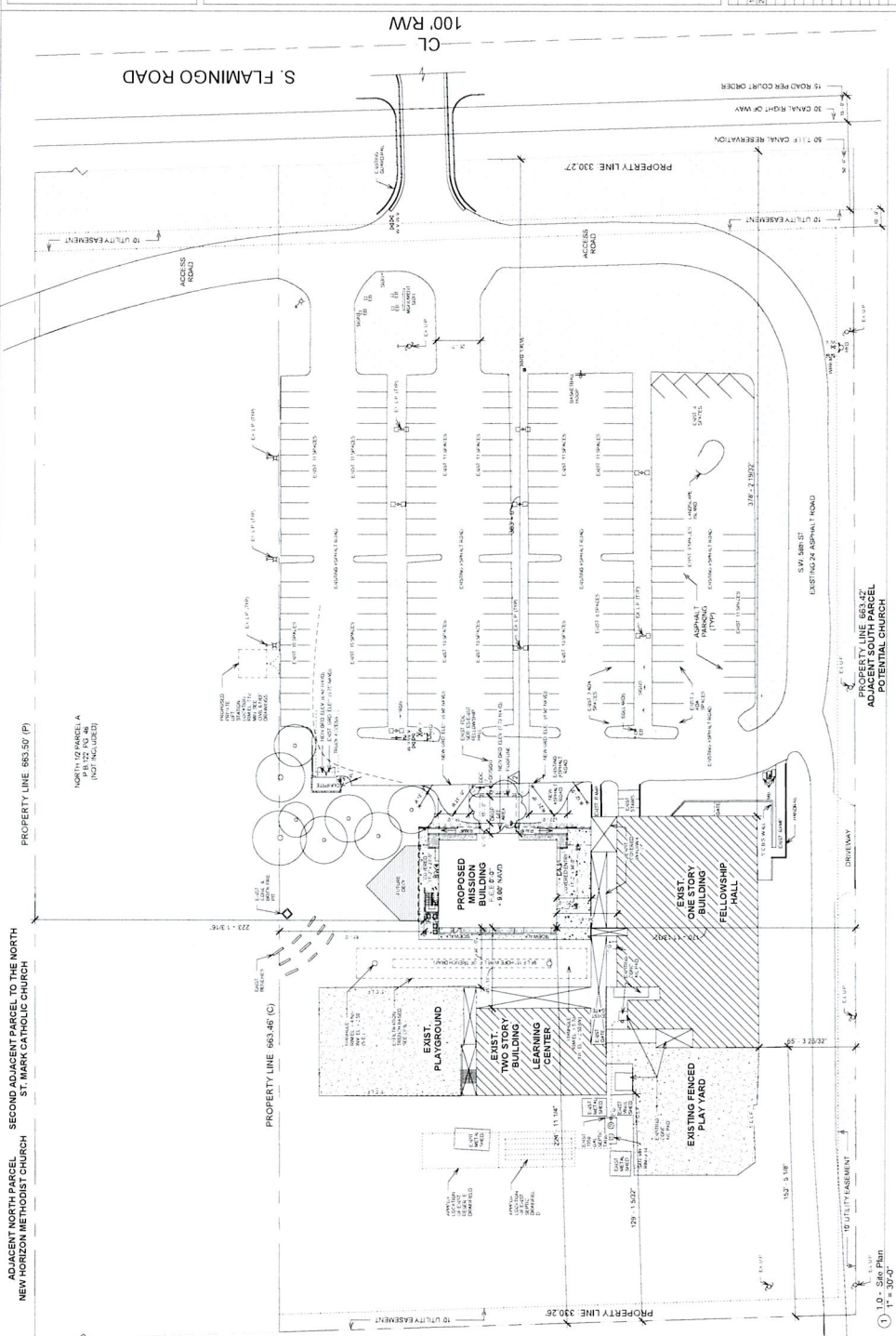
1.0 - Site Demolition Plan
 1" = 50'-0"

SQUARE ONE ARCHITECTURE
 5230 S. University Dr
 Suite 1000
 Miami, FL 33156
 305-461-1952
 www.sqa1.com

New Horizon United Methodist Church
 Mission Building
 5741 S Flamingo Rd, Southwest Ranches, FL 33330

No.	Description	Date
1	Site Plan	11/30/2018
2	Site Plan Rev 2	12/01/2018

John Roman Gains
 Florida Architect #192245
Site Plan
 Date: 11/30/2018
 Drawn by: LEA
A010
 Scale: As indicated



SITE PLAN GRAPHIC LEGEND

Symbol	Code	Reference
[Hatched Box]	F. EXISTING BUILDING	SECTION 107.07
[Dotted Box]	F. EXISTING ACCESSIBILITY CODE	SECTION 107.07
[Solid Box]	F. CONCRETE SLAB	SECTION 107.07
[Cross-hatched Box]	F. COVERED WALKWAY	SECTION 107.07

LEGAL DESCRIPTION

SOUTH ONE HALF (1/2), NEW HORIZON UNITED METHODIST CHURCH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 102, PAGE 4, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SUBJANUS STATE, LYING AND BEING IN THE CITY OF SOUTH WEST RANCHES, BROWARD COUNTY, FLORIDA.

CLASSIFICATION OF WORK: MISSION BUILDING REPLACEMENT

1st Floor	2nd Floor
3,980 SQ FT (CONDITIONAL SPACE)	3,970 SQ FT (CONDITIONAL SPACE)
420 SQ FT (CONDITIONAL SPACE)	420 SQ FT (CONDITIONAL SPACE)
7,500 SQ FT (CONDITIONAL SPACE)	7,500 SQ FT (CONDITIONAL SPACE)
4,700 SQ FT (CONDITIONAL SPACE)	4,700 SQ FT (CONDITIONAL SPACE)
1,300 SQ FT (CONDITIONAL SPACE)	1,300 SQ FT (CONDITIONAL SPACE)
281,248 SQ FT (5.69 ACRES)	281,248 SQ FT (5.69 ACRES)

ZONING DATA - F.A.R.

F.B.C. OCCUPANCY TYPE: Community Facility District

Building Height	Floor Coverage	Floor Area Ratio	Permissible Area
20' 6" Prohibited	30% Max	6.1% Prohibited	53.9% Prohibited
20' 6" Prohibited	30% Max	9.9% Prohibited	53.9% Prohibited
40% Max	30% Max	53.9% Prohibited	53.9% Prohibited

PARKING INFORMATION

EXISTING CAR PARKING: 102 SPACES
 TOTAL EXISTING PARKING: 102 SPACES
 BUILDINGS ON THE SITE: 102 SPACES

NEW MISSION BUILDING SHALL BE USED AS ONE (1) HOUR TO THE EXISTING BUILDINGS ON THE SITE.

FLOOD ZONE INFORMATION

MAP COMMUNITY NUMBER: 101702564H
 FLOOD ZONE: A1 (100 YEAR FLOOD)
 NET FIRST FLOOR ELEVATION: 102' 00" (AWD)

SPECIFIC MEASURES THAT WILL BE TAKEN TO PREVENT OR MINIMIZE IMPACTS UPON ADJACENT RESIDENTIAL PLOTS WITHIN 300 FEET OF A BOUNDARY OF THE SITE PLAN.

Residential: 100' 0" S.W.
 Residential: 100' 0" W.

BUILDING INFORMATION

THE CONTAINMENT TYPE: 4-4
 THE WALLS AND CEILING: CONCRETE MASONRY
 THE FLOORING: CONCRETE
 THE ROOFING: METAL PANELS

FIRE RESISTANCE RATING

WALLS: 2 HOURS
 FLOORS: 2 HOURS
 ROOFS: 2 HOURS

FUTURE LOAD CALCULATIONS

Category	Value
DEAD LOAD	10 PSF
LIVE LOAD	10 PSF
WIND LOAD	15 PSF
SEISMIC LOAD	10 PSF

OCCUPANT LOAD CALCULATIONS

Room	Area	Occupant Load
MISSION BUILDING	3,980 SQ FT	102
EXISTING BUILDING	7,500 SQ FT	102
TOTAL	11,480 SQ FT	204

Summary Sheet: Call of Work
 Call for business days before signing. Call 10 days before signing view.
 When the required time for business days to be signed and marked.
 The required time for business days to be signed and marked.
 This is the time to be signed and marked.
 This is the time to be signed and marked.

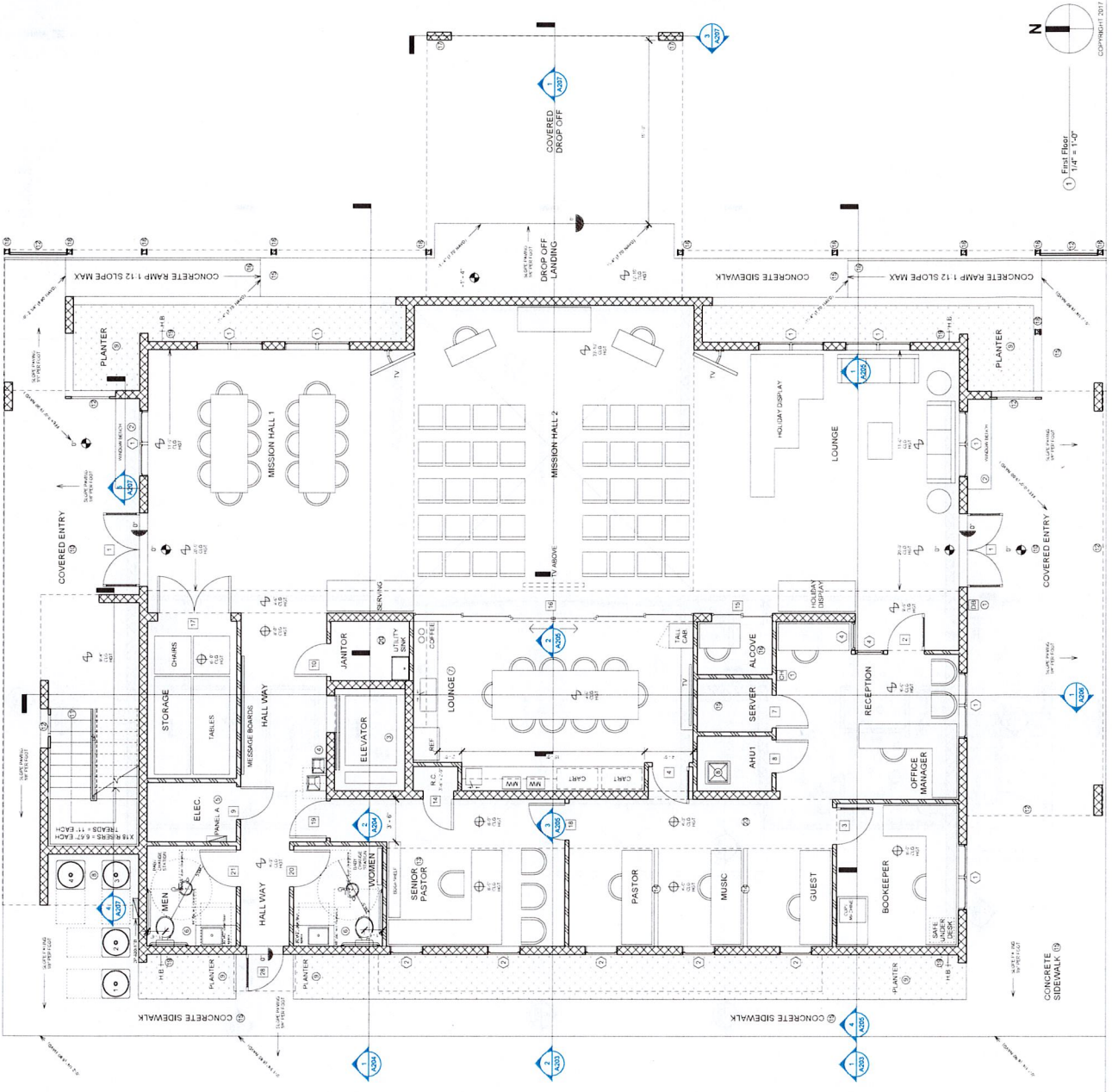


New Horizon United Methodist Church
 Mission Building
 5741 S Flamingo Rd, Southwest Ranches, FL 33330

NO.	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	11/30/2018

John Neuman Clark
 Project Architect
 11/30/2018
 J.N.C.
 Scale: 1/4" = 1'-0"

11/30/2018
 J.N.C.
 Scale: 1/4" = 1'-0"



FLOOR PLAN LEGEND

1	INSTALL DOOR BELL AT SOUTH ENTRY DOOR WITH CHIME IN THE RECEPTION AREA.
2	INSTALL WINDOW BENCH SEE STRUCTURAL PLANS.
3	INSTALL LATCHES AS PER MANUFACTURER'S INSTRUCTIONS. SEE SPEC. SHEET.
4	INSTALL DRINKING FOUNTAIN AS PER MANUFACTURER'S INSTRUCTIONS. SEE SPEC. SHEET.
5	INSTALL ELECTRICAL PANEL SEE ELECTRICAL PLAN.
6	INSTALL ELECTRICAL PANEL SEE ELECTRICAL PLAN.
7	INSTALL MECHANICAL EQUIPMENT. SEE MECHANICAL PLANS.
8	INSTALL 200'S & PLANTS. SEE LANDSCAPE PLANS.
9	INSTALL COVERED ENTRY. SEE STRUCTURAL PLANS.
10	INSTALL CONCRETE STAIRS AND GUARD RAIL. SEE STRUCTURAL PLANS.
11	INSTALL SOUNDPROOF SYSTEM FOR ALL RECEPTION OFFICE PARTITION WALLS.
12	INSTALL CONCRETE FLOOR. SEE CIVIL PLAN.
13	INSTALL GUARD RAIL & ADA CONCRETE RAMP. SEE CIVIL PLANS.
14	INSTALL COVERED CARPORT COLUMNS. FIELD VERIFY EXACT LOCATION OF FLOOR PRES.
15	INSTALL COVERED WALKWAY. SEE SHOP DRAWINGS.
16	INSTALL 1" HOSE BIB. SEE PLUMBING PLANS.
17	INSTALL UNFACED WOOD SET IN JAMBING & ELECTRICAL DRAWINGS.
18	INSTALL CEILING LIGHT FIXTURES. SEE ELECTRICAL PLANS.
19	INSTALL CEILING LIGHT FIXTURES. SEE ELECTRICAL PLANS.
20	INSTALL PARTITION WALL TO GLASS PARTITION. (GLASS FOR INTERIOR TO BE SUPPLIED BY OTHER PARTY).
21	INSTALL ADA TRANSFER SHOWER WITH WALK-IN SHOWER. (ADA COMPLIANT TOILET, VANITY & GRANITE BAR).
22	INSTALL ADA TOILET, VANITY & GRANITE BAR. (ADA COMPLIANT TOILET, VANITY & GRANITE BAR).
23	TRANSFER SHOWER SHALL BE 36" X 36" INCLUDING FINISH DIMENSIONS.
24	1. INSTALL AND LEVER SHAKES PLUMBER. (V.S. APPLIANCES, COPERS, ROOM SEGRADE, FURNITURE, ART, ON ART, WINDOW).
25	2. PROVIDE AND INSTALL ALL TOILET, VANITY, GRANITE BAR, SINKS, SHOWERS, AND ALL IN EQUIPMENT AND CONNECTIONS WALL.

DOOR SCHEDULE

NO.	SIZE	FIN	DESCRIPTION / REMARKS
1	6'-0" x 7'-0"	NA	EXTERIOR DOUBLE DOOR
2	3'-0" x 6'-8"	KEYED	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
3	3'-0" x 6'-8"	KEYED	TRANSLUCENT GLASS SMOOTH FINISH
4	3'-0" x 6'-8"	KEYED	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
5	3'-0" x 6'-8"	PASSAGE	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
6	3'-0" x 6'-8"	KEYED	TRANSLUCENT GLASS SMOOTH FINISH
7	2'-5" x 6'-8"	PASSAGE	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
8	2'-5" x 6'-8"	PASSAGE	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
9	2'-5" x 6'-8"	PASSAGE	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
10	2'-5" x 6'-8"	KEYED	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
11	2'-5" x 6'-8"	KEYED	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
12	2'-5" x 6'-8"	PASSAGE	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
13	2'-5" x 6'-8"	PASSAGE	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
14	2'-5" x 6'-8"	PASSAGE	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
15	2'-5" x 6'-8"	PASSAGE	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
16	2'-0" x 6'-8"	NA	GLASS PARTITION WALL TO GLASS PARTITION. (GLASS FOR INTERIOR TO BE SUPPLIED BY OTHER PARTY).
17	6'-0" x 4'-8"	PASSAGE	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOUBLE DOOR
18	3'-0" x 6'-8"	KEYED	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
19	3'-0" x 6'-8"	KEYED	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
20	3'-0" x 6'-8"	KEYED	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
21	3'-0" x 6'-8"	KEYED	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
22	3'-0" x 6'-8"	KEYED	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
23	2'-0" x 6'-8"	KEYED	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
24	3'-0" x 6'-8"	KEYED	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
25	3'-0" x 6'-8"	KEYED	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
26	3'-0" x 6'-8"	KEYED	JELD-ITAN MDOA MPM 1025.3 PANEL, INTERIOR DOOR
27	3'-0" x 7'-0"	NA	EXTERIOR SINGLE DOOR
28	3'-0" x 7'-0"	NA	EXTERIOR SINGLE DOOR

NOTES:
 1. Glass doors shall be as noted on this schedule.
 2. All dimensions shall be approved as noted by the Architect.
 3. All door types shall be as noted on this schedule.
 4. All door types shall be as noted on this schedule.
 5. All door types shall be as noted on this schedule.
 6. All door types shall be as noted on this schedule.



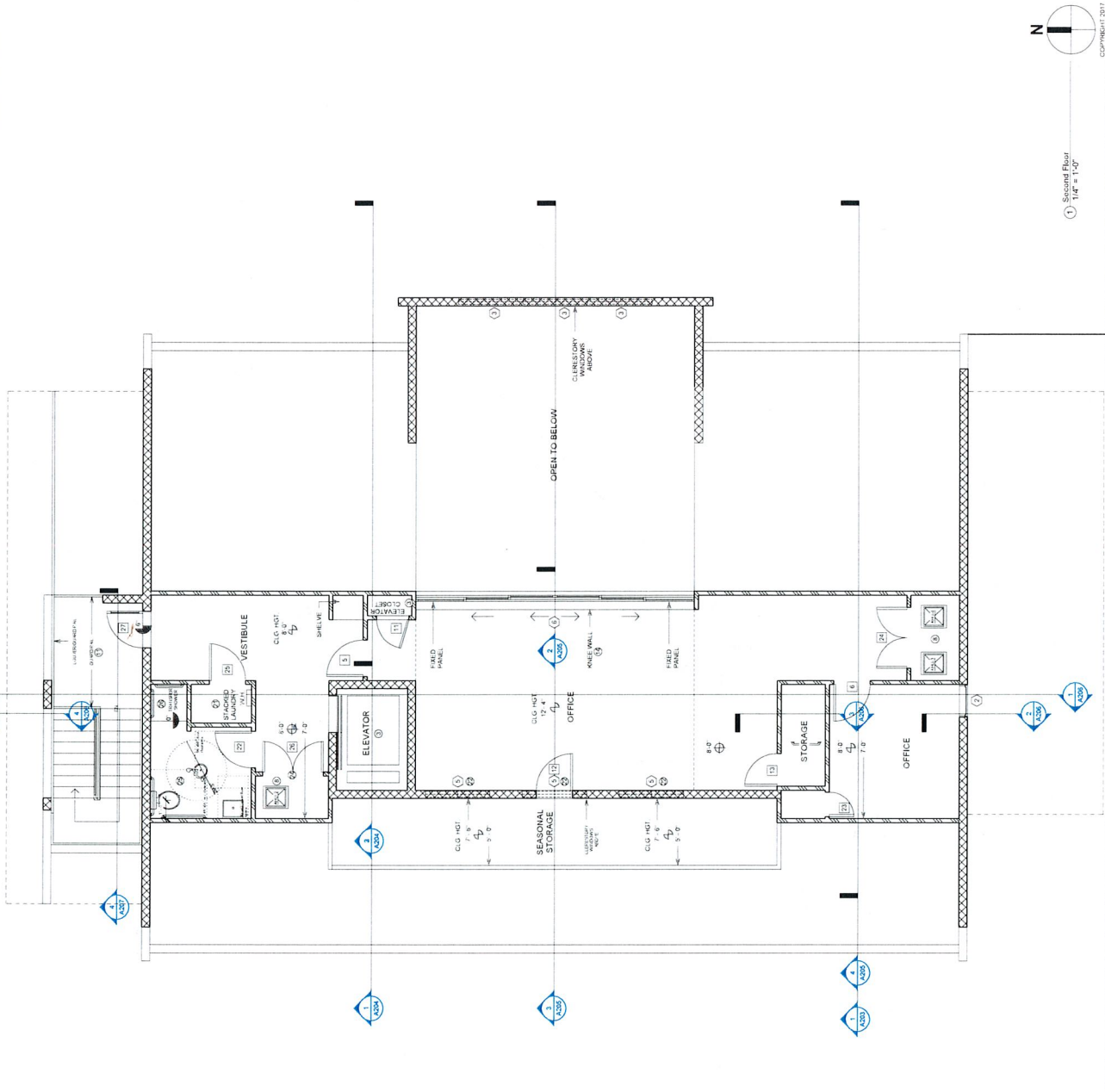
**SQUARE ONE
ARCHITECTURE**
5230 S. University Dr
Suite 100
Doral, FL 33126
AA23001648
561-461-1462
www.sqa1.net

New Horizon United Methodist Church
Mission Building
5741 S Flamingo Rd, Southwest Ranches, FL 33330

No.	Description	Date
1	Site Preparation	08/20/18

John Norman, Captain
Florida Architect #182845
Second Floor Plan

Scale: 1/4" = 1'-0"
11/30/2018
JOS
A102



1 Second Floor
1/4" = 1'-0"
N
COMP: 08/17/2017

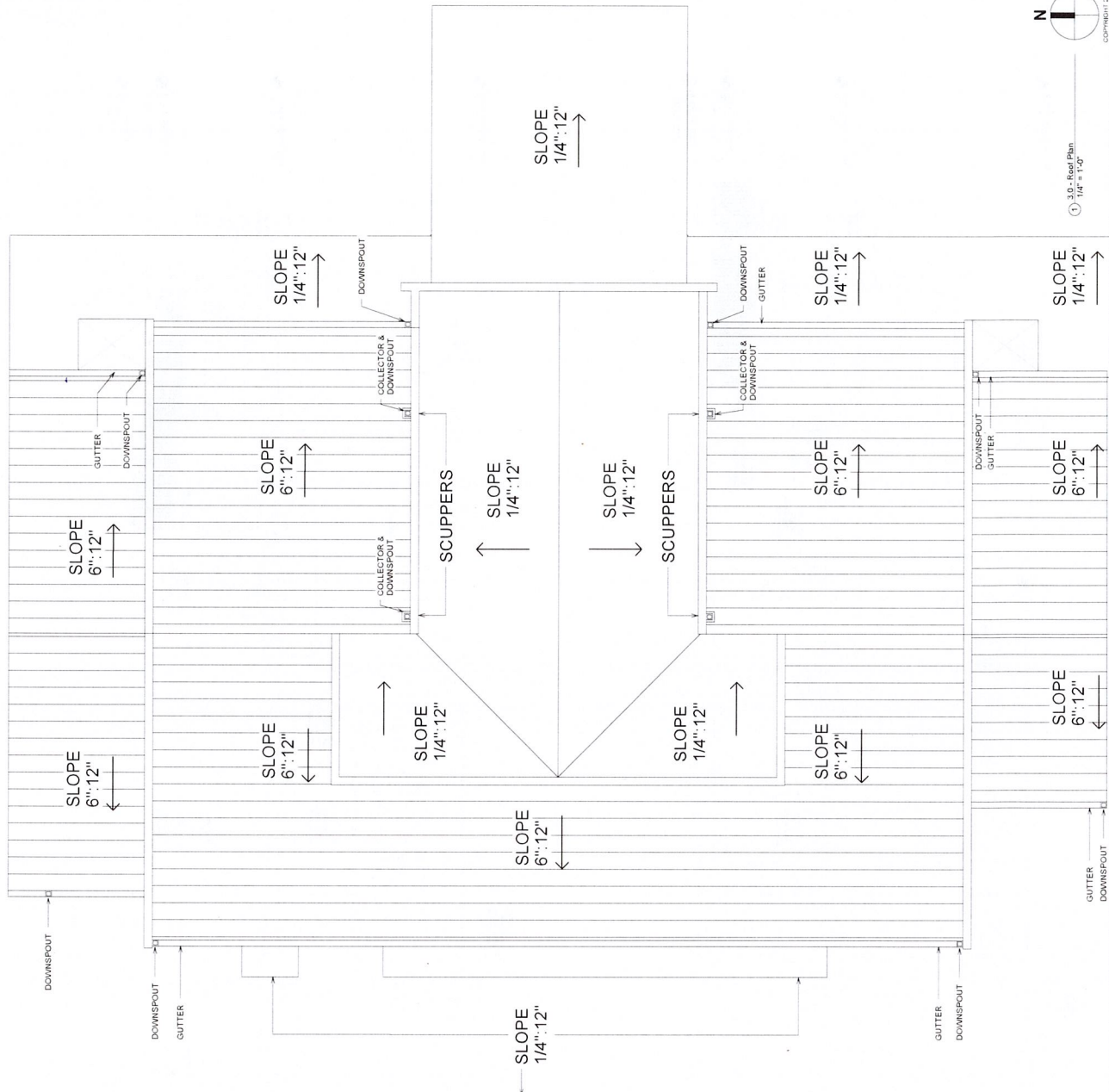
QTY	SIZE	MATERIAL	FINISH	DESCRIPTION
1	3'-6" x 5'-0"	ALUMINUM	02/0/0	DOUBLE FIXED ALUMINUM WINDOWS
2	2'-6" x 5'-0"	ALUMINUM	02/0/0	SINGLE FIXED ALUMINUM WINDOWS
3	3'-6" x 4'-6"	ALUMINUM	02/0/0	SINGLE FIXED ALUMINUM CLERESTORY WINDOWS
4	3'-6" x 4'-6"	ALUMINUM	02/0/0	SINGLE FIXED ALUMINUM CLERESTORY WINDOWS
5	3'-6" x 7'-6"	ALUMINUM	02/0/0	DOUBLE FIXED ALUMINUM CLERESTORY WINDOWS
6	3'-6" x 7'-6"	ALUMINUM	02/0/0	DOUBLE FIXED ALUMINUM CLERESTORY WINDOWS

NOTES:
1. All glazing hardware locations defined in I.B.C. Chapter 24, Section 2406 Safety Glazing including power windows comply with the requirements of the section.
2. Contractor shall verify all window sizes and joint thickness prior to ordering.
3. All windows are to be installed in accordance with the manufacturer's instructions.
4. All windows are to be installed in accordance with the requirements of I.B.C. per window listing.
5. All windows are to be installed in accordance with the requirements of I.B.C. per window listing.

#	DESCRIPTION	LEVEL/LOBBY	HINGES	STOP
HW1	1" x 6" x 6" ALUMINUM WINDOW	2ND FLOOR	1" x 6" x 6" ALUMINUM WINDOW	1" x 6" x 6" ALUMINUM WINDOW
HW2	1" x 6" x 6" ALUMINUM WINDOW	2ND FLOOR	1" x 6" x 6" ALUMINUM WINDOW	1" x 6" x 6" ALUMINUM WINDOW
HW3	1" x 6" x 6" ALUMINUM WINDOW	2ND FLOOR	1" x 6" x 6" ALUMINUM WINDOW	1" x 6" x 6" ALUMINUM WINDOW
HW4	1" x 6" x 6" ALUMINUM WINDOW	2ND FLOOR	1" x 6" x 6" ALUMINUM WINDOW	1" x 6" x 6" ALUMINUM WINDOW
HW5	1" x 6" x 6" ALUMINUM WINDOW	2ND FLOOR	1" x 6" x 6" ALUMINUM WINDOW	1" x 6" x 6" ALUMINUM WINDOW
HW6	1" x 6" x 6" ALUMINUM WINDOW	2ND FLOOR	1" x 6" x 6" ALUMINUM WINDOW	1" x 6" x 6" ALUMINUM WINDOW
HW7	1" x 6" x 6" ALUMINUM WINDOW	2ND FLOOR	1" x 6" x 6" ALUMINUM WINDOW	1" x 6" x 6" ALUMINUM WINDOW
HW8	1" x 6" x 6" ALUMINUM WINDOW	2ND FLOOR	1" x 6" x 6" ALUMINUM WINDOW	1" x 6" x 6" ALUMINUM WINDOW
HW9	1" x 6" x 6" ALUMINUM WINDOW	2ND FLOOR	1" x 6" x 6" ALUMINUM WINDOW	1" x 6" x 6" ALUMINUM WINDOW
HW10	1" x 6" x 6" ALUMINUM WINDOW	2ND FLOOR	1" x 6" x 6" ALUMINUM WINDOW	1" x 6" x 6" ALUMINUM WINDOW

NOTES:
1. All glazing hardware locations defined in I.B.C. Chapter 24, Section 2406 Safety Glazing including power windows comply with the requirements of the section.
2. Contractor shall verify all window sizes and joint thickness prior to ordering.
3. All windows are to be installed in accordance with the manufacturer's instructions.
4. All windows are to be installed in accordance with the requirements of I.B.C. per window listing.
5. All windows are to be installed in accordance with the requirements of I.B.C. per window listing.

No.	Description	Date
1	Site Plan Approval	08/25/18
NOT FOR CONSTRUCTION		





5230 S. University Dr
 Suite 100
 Dallas, TX 75248
 AA-350018-46
 954-861-0852
 www.sq1arch.com

New Horizon United Methodist Church
 Mission Building
 5741 S Flamingo Rd, Southwest Ranches, FL 33330

No.	Description	Date
1	Site Plan Approval	02/15/18

NOT FOR CONSTRUCTION

John Norman Gera
 Registered Professional Engineer
 License No. 482246

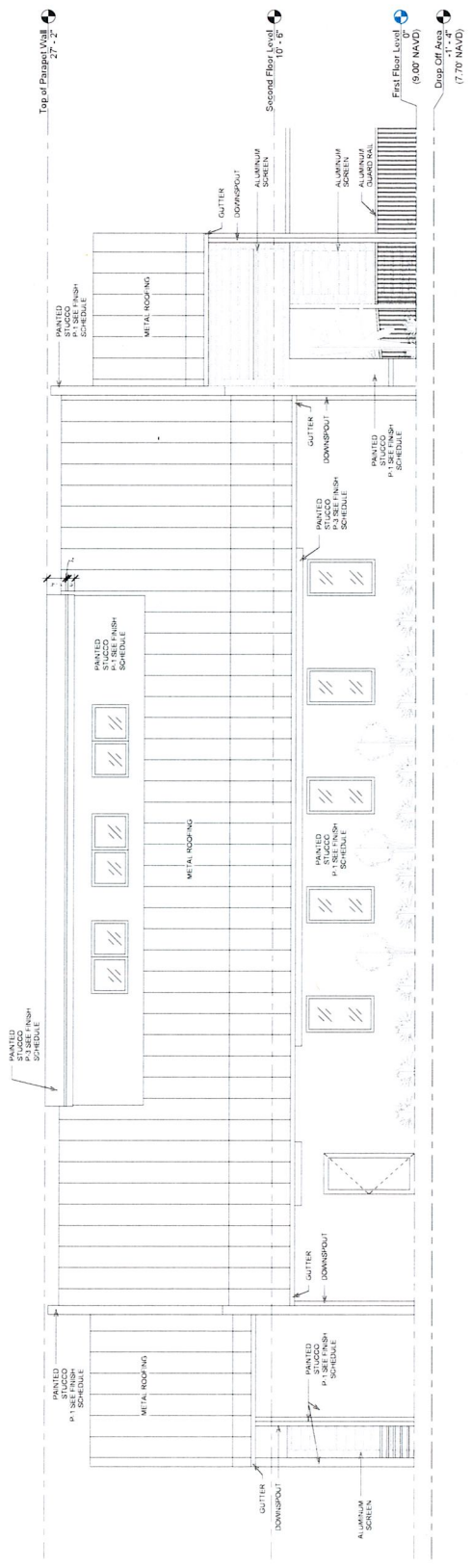
Elevations

Date: 11/20/2018
 Drawn by: LCN

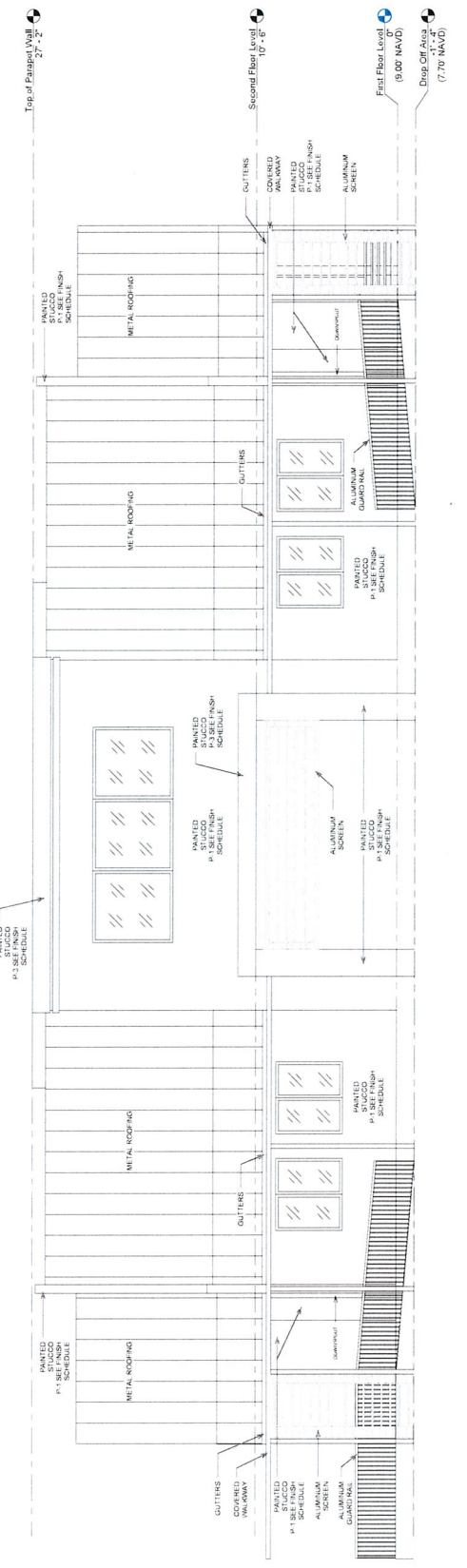
A201

Scale: 1/4" = 1'-0"

COMP-REG-11-2017



② West Elevation
 1/4" = 1'-0"



① East Elevation
 1/4" = 1'-0"

No.	Description	Date
1	Site Plan Approval	08/23/18

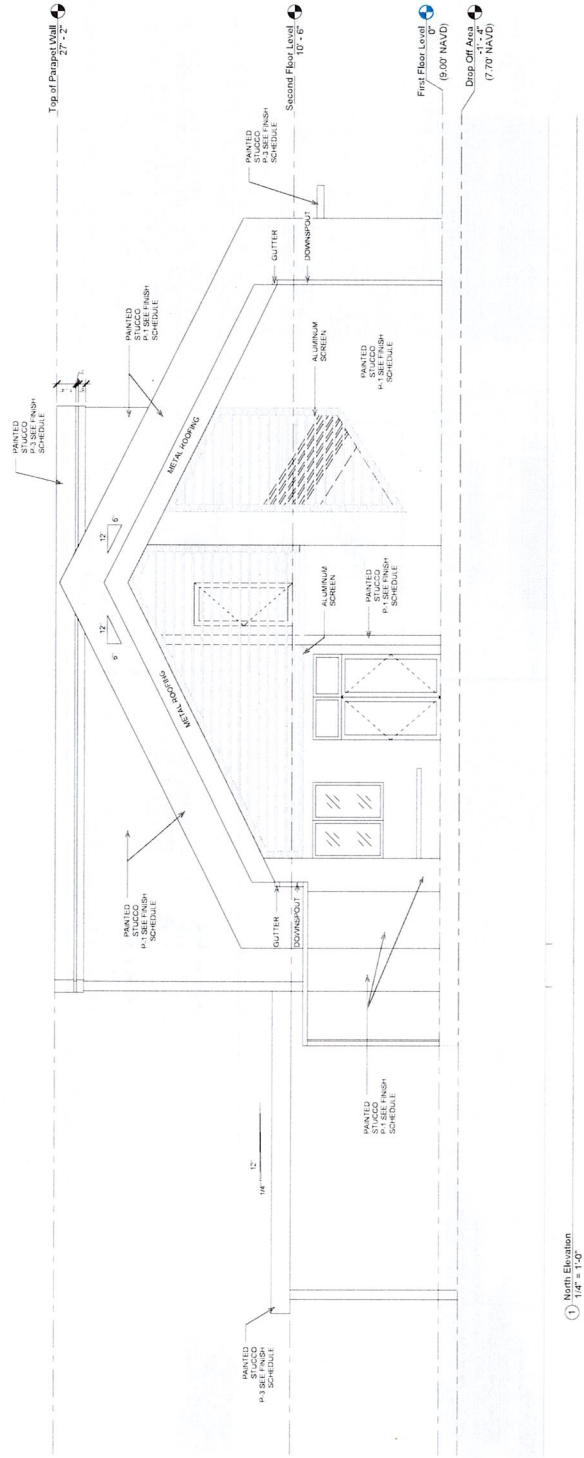
NOT FOR CONSTRUCTION

John Norman Gains
 Period Architect A032545
Elevations

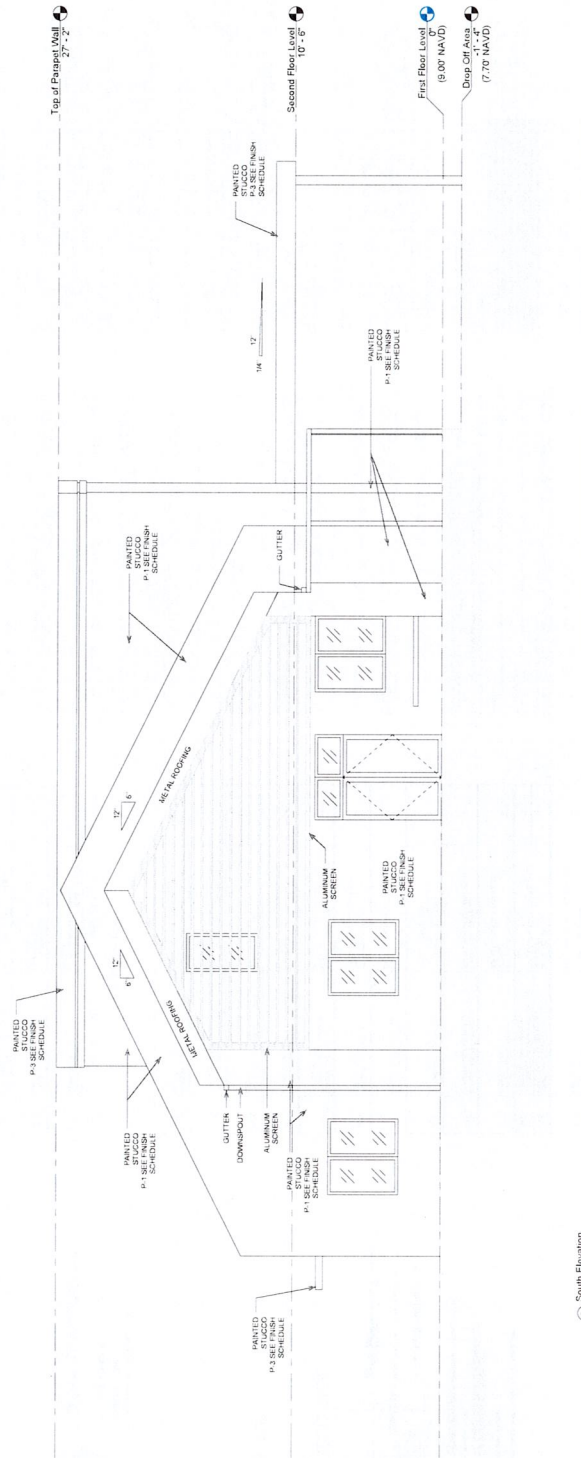
Date: 11/30/2018
 Drawn by: LEA

A202

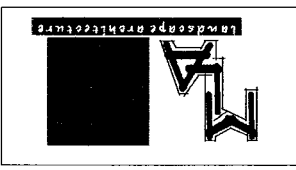
Scale: 1/4" = 1'-0"



1 North Elevation
 1/4" = 1'-0"



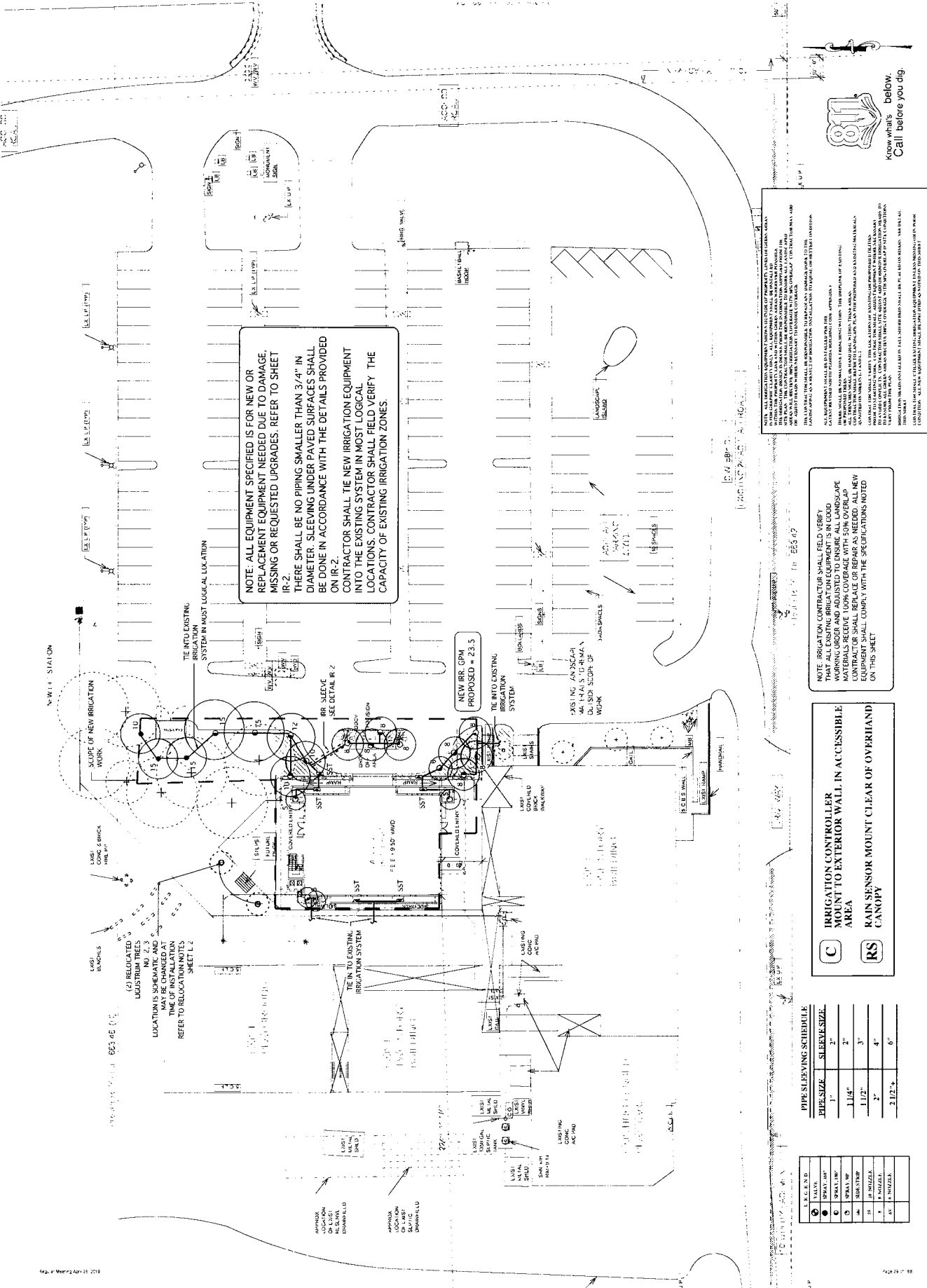
2 South Elevation
 1/4" = 1'-0"



NO.	DATE	DESCRIPTION

PROJECT
 NEW HORIZON METHODIST CHURCH
 MISSION BUILDING
 5741 S. FLAMINGO RD.
 SOUTHWEST RANCHES, FL.

SHEET NO
 IR-1
 DATE DRAWN 9.21.18
 SCALE 1" = 20'
 0 of 2



NOTE: ALL EQUIPMENT SPECIFIED IS FOR NEW OR REPLACE EQUIPMENT NEEDED DUE TO DAMAGE, MISSING OR REQUESTED UPGRADES. REFER TO SHEET IR-2.
 THERE SHALL BE NO PIPING SMALLER THAN 3/4" IN DIAMETER. SLEEVING UNDER PAVED SURFACES SHALL BE DONE IN ACCORDANCE WITH THE DETAILS PROVIDED ON IR-2.
 CONTRACTOR SHALL TIE NEW IRRIGATION EQUIPMENT INTO THE EXISTING SYSTEM IN MOST LOGICAL LOCATIONS. CONTRACTOR SHALL FIELD VERIFY THE CAPACITY OF EXISTING IRRIGATION ZONES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING IRRIGATION SYSTEM'S CAPACITY AND FOR PROVIDING THE NECESSARY UPGRADES TO THE EXISTING SYSTEM TO ACCOMMODATE THE NEW IRRIGATION SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING IRRIGATION SYSTEM'S CAPACITY AND FOR PROVIDING THE NECESSARY UPGRADES TO THE EXISTING SYSTEM TO ACCOMMODATE THE NEW IRRIGATION SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING IRRIGATION SYSTEM'S CAPACITY AND FOR PROVIDING THE NECESSARY UPGRADES TO THE EXISTING SYSTEM TO ACCOMMODATE THE NEW IRRIGATION SYSTEM.

NOTE: IRRIGATION CONTRACTOR SHALL FIELD VERIFY THAT ALL EXISTING IRRIGATION EQUIPMENT IS IN GOOD WORKING ORDER AND ADJUSTED TO ENSURE ALL LANDSCAPE AREAS ARE COVERED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING IRRIGATION SYSTEM'S CAPACITY AND FOR PROVIDING THE NECESSARY UPGRADES TO THE EXISTING SYSTEM TO ACCOMMODATE THE NEW IRRIGATION SYSTEM.

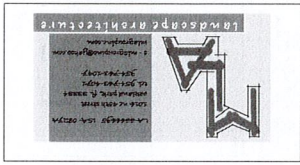
C IRRIGATION CONTROLLER MOUNT TO EXTERIOR WALL IN ACCESSIBLE AREA
RS RAIN SENSOR MOUNT CLEAR OF OVERHEAD CANOPY

PIPE SLEEVING SCHEDULE

PIPE SIZE	SLEEVE SIZE
1"	2"
1 1/4"	2"
1 1/2"	3"
2"	4"
2 1/2"	6"

LEGEND

○	VALVE
●	SENSOR
○	SENSOR
○	SENSOR
○	SENSOR
○	SENSOR
○	SENSOR
○	SENSOR
○	SENSOR
○	SENSOR

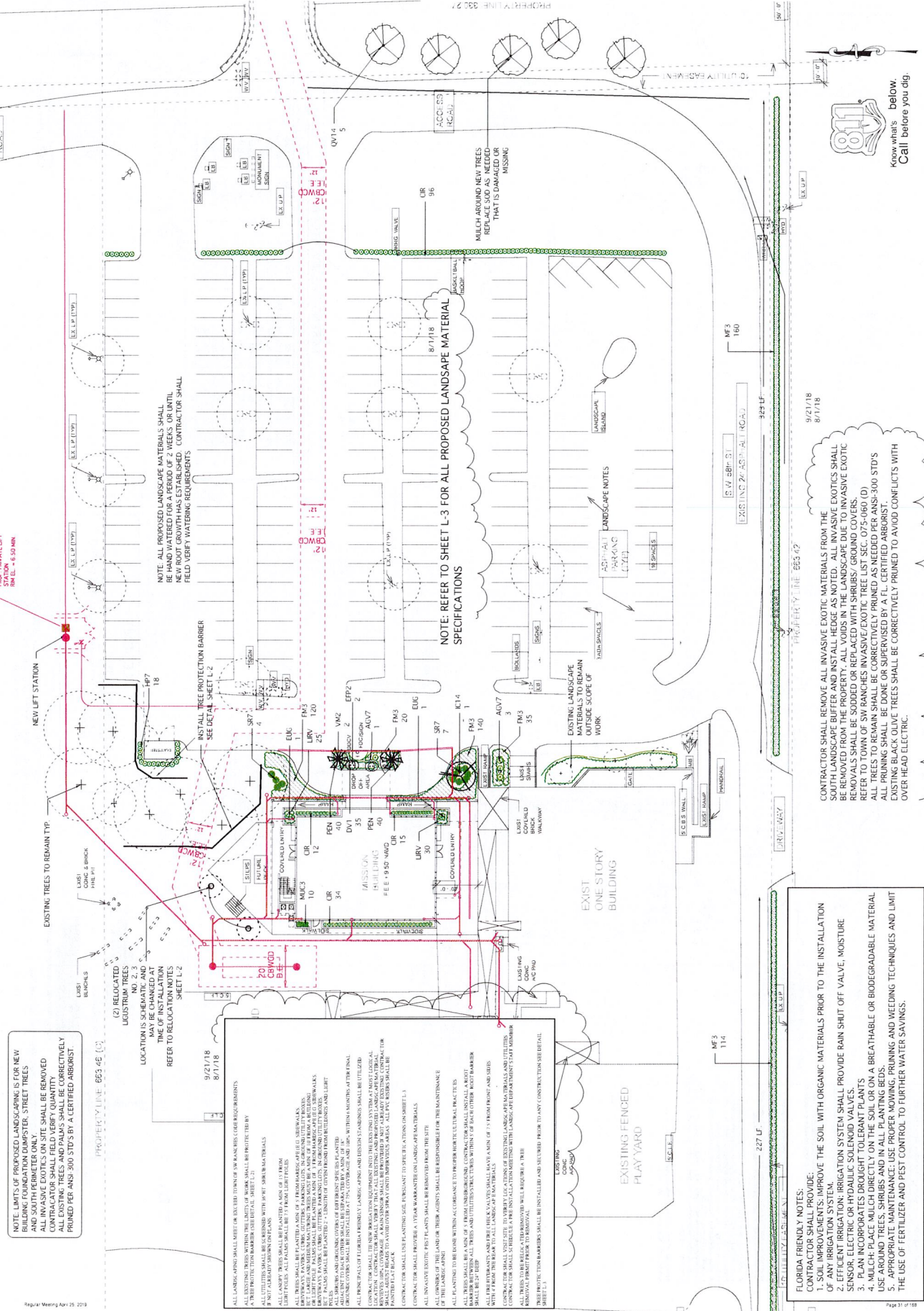


REVISIONS:	TOWN COMMENTS: 8/17/18
	REV: 9/21/18

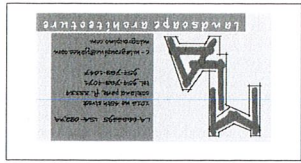
PROJECT: NEW HORIZON METHODIST CHURCH
 5741 S. FLAMINGO RD.,
 SOUTHWEST RANCHES, FL.

SHEET NO: L-1

SCALE: 1" = 20'
 DATE DRAWN: 4.12.18
 08/3



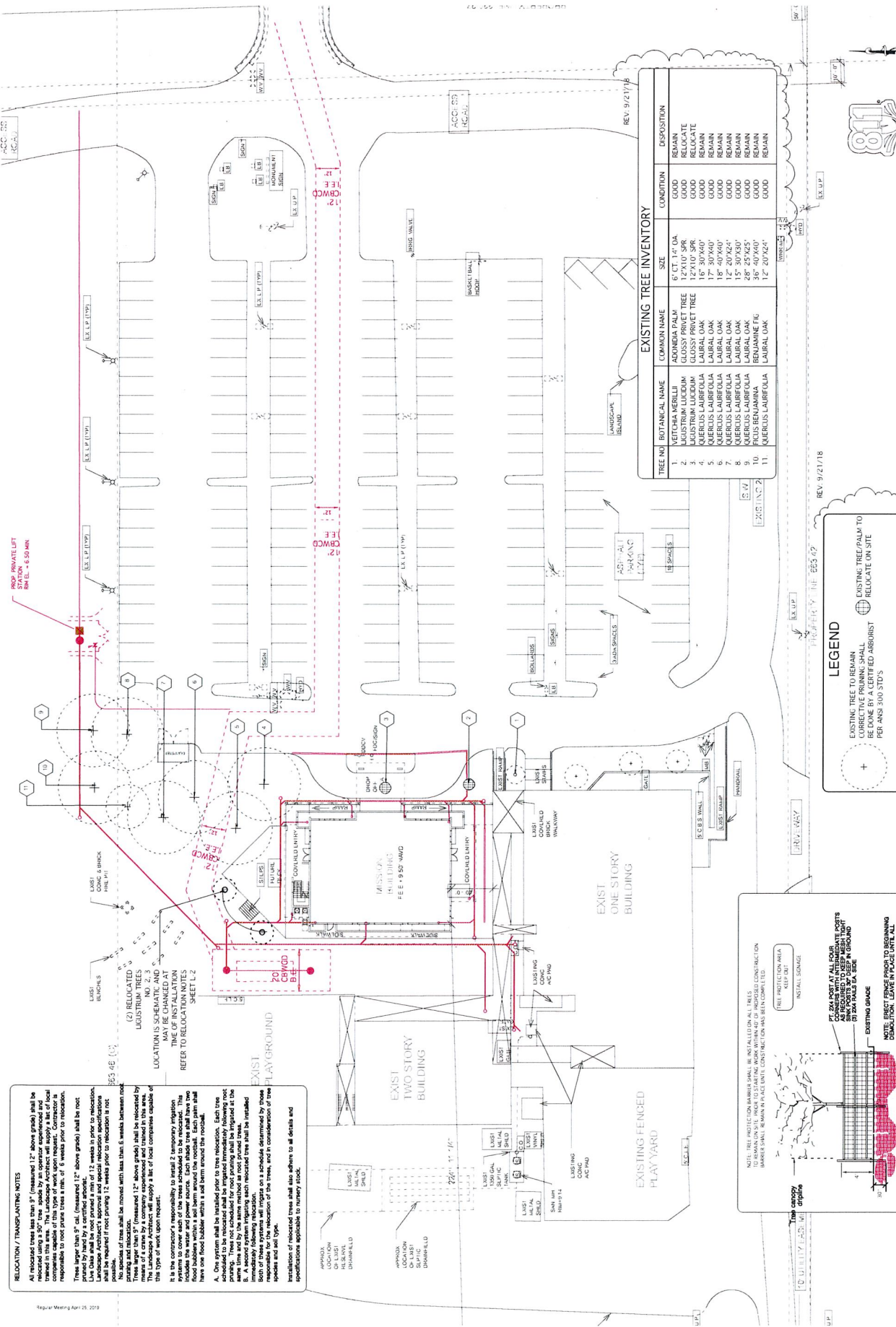
CONTRACTOR SHALL REMOVE ALL INVASIVE EXOTIC MATERIALS FROM THE SOUTH LANDSCAPE BUFFER AND INSTALL HEDGE AS NOTED. ALL INVASIVE EXOTICS SHALL BE REMOVED FROM THE PROPERTY. ALL VOIDS IN THE LANDSCAPE DUE TO INVASIVE EXOTIC REMOVALS SHALL BE SOODED OR REPLACED WITH SHRUBS/ GRASS COVERS. REFER TO TOWN OF SW RANCHES INVASIVE EXOTIC TREE LIST SEC. 075-060 (D) ALL TREES TO REMAIN SHALL BE CORRECTIVELY PRUNED AS NEEDED PER ANSI-300 STD'S ALL PRUNING SHALL BE DONE OR SUPERVISED BY A FL. CERTIFIED ARBORIST. EXISTING BLACK OLIVE TREES SHALL BE CORRECTIVELY PRUNED TO AVOID CONFLICTS WITH OVER HEAD ELECTRIC.



REVISIONS:
REV 9/27/18

PROJECT:
NEW HORIZON METHODIST CHURCH
MISSION BUILDING
5741 S. FLAMINGO RD.
SOUTHWEST RANCHES, FL.

SCALE: 1"=20'
DATE DRAWN: 4/2/18
SHEET NO:
L-2



EXISTING TREE INVENTORY

TREE NO.	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	DISPOSITION
1.	VETCHIA KERRILLI	ADONIDA PALM	6' CT, 1.47' OA	GOOD	RELOCATE
2.	LIQUISTRUM LYCIDIUM	GLOSSY PRIVET TREE	12' X 10' SPR	GOOD	RELOCATE
3.	QUERUS LAURIFOLIA	LAURAL OAK	15' X 10' X 10'	GOOD	RELOCATE
4.	QUERUS LAURIFOLIA	LAURAL OAK	17' X 30' X 40'	GOOD	RELOCATE
5.	QUERUS LAURIFOLIA	LAURAL OAK	18' X 40' X 40'	GOOD	RELOCATE
6.	QUERUS LAURIFOLIA	LAURAL OAK	12' X 20' X 24'	GOOD	RELOCATE
7.	QUERUS LAURIFOLIA	LAURAL OAK	12' X 20' X 24'	GOOD	RELOCATE
8.	QUERUS LAURIFOLIA	LAURAL OAK	28' X 25' X 25'	GOOD	RELOCATE
9.	QUERUS LAURIFOLIA	LAURAL OAK	38' X 40' X 40'	GOOD	RELOCATE
10.	PLICUS BENJAMINA	BENJAMINE FIG	12' X 20' X 24'	GOOD	RELOCATE
11.	QUERUS LAURIFOLIA	LAURAL OAK	12' X 20' X 24'	GOOD	RELOCATE

LEGEND

- EXISTING TREE TO REMAIN
- CORRECTIVE PRUNING SHALL BE DONE BY A CERTIFIED ARBORIST PER ANSI 300 STANDS
- EXISTING TREE/PALM TO BE RELOCATED ON SITE

NOTE: NO TREES SHALL BE REMOVED OR RELOCATED WITHOUT A TREE REMOVAL PERMIT ISSUED BY THE TOWN OF SW RANCHES REFER TO SHEET L-1 FOR MITIGATION TREES/PALMS

TREE PROTECTION/TEMPORARY BARRIER DETAIL

NOTE: TREE PROTECTION BARRIER SHALL BE INSTALLED PER ALL TREE TO REMAIN ON SITE PRIOR TO STARTING WORK WITHIN 48 HOURS OF CONSTRUCTION. BARRIERS SHALL BE 18" HIGH AND 12" THICK. CONSTRUCTION SHALL BE COMPLETED.

NOTE: ERECT FENCE PRIOR TO BEGINNING DEMOLITION. LEAVE IN PLACE UNTIL ALL WORK IS COMPLETED. FENCE TO BE REMOVED AT THE WRITES BEING PREPARED FOR SOO INSTALLATION.

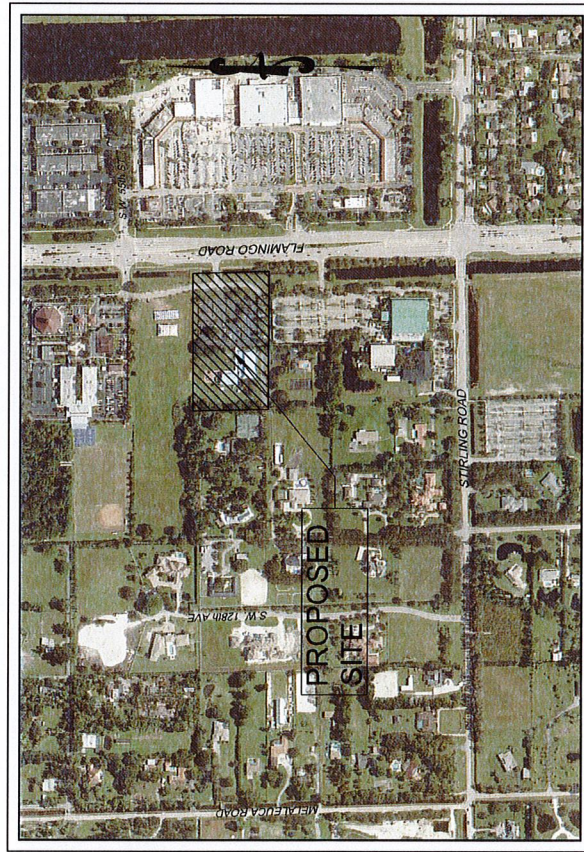
RELOCATION / TRANSPLANTING NOTES

All relocated trees less than 9" (measured 12" above grade) shall be relocated using a 50" tree spade by an operator experienced and trained in this area of this industry. An operator shall be responsible for the safe removal and relocation of trees. The operator shall be responsible for the safe removal and relocation of trees. The operator shall be responsible for the safe removal and relocation of trees.

(2) RELOCATED LIQUISTRUM LYCIDIUM TREES MAY BE CHANGED AT THE TIME OF INSTALLATION. REFER TO RELOCATION SHEET L-2.

NEW HORIZON UNITED METHODIST CHURCH - MISSION BUILDING

WATER, SEWER, PAVING AND DRAINAGE PLANS
SOUTHWEST RANCHES, BROWARD COUNTY, FLORIDA



LOCATION MAP

NOT TO SCALE
SECTION 35, TOWNSHIP 30 SOUTH, RANGE 40 EAST

LAND DESCRIPTION

SOUTH ONE HALF (1/2), NEW HORIZON UNITED METHODIST CHURCH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 122, PAGE 46, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE, LYING, AND BEING IN THE CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA.

DEVELOPER:

NEW HORIZON UNITED METHODIST CHURCH, INC.
5741 S. FLAMINGO ROAD,
SOUTH LAUDERDALE, FL 33330
TEL: (954)343-7400

ENGINEER:

PILLAR CONSULTANTS, INC.
5230 S. UNIVERSITY DRIVE, SUITE 104
DOVE, FLORIDA 33328
TEL: (954)880-6533

ARCHITECT:

SQUARE ONE ARCHITECTURE, INC.
3320 NW 97TH AVENUE
SOUTH LAUDERDALE, FL 33304
TEL: (954)861-0852

LANDSCAPE DESIGNER:

MCCLURE LANDSCAPE ARCHITECTURE, INC.
1000 N. UNIVERSITY AVENUE, SUITE 105
FT. LAUDERDALE, FL 33304
TEL: (954)763-4071
FAX: (954)337-0817

SHEET INDEX:

CS-1	COVER SHEET
SP-1	APPROVED SITE PLAN
SP-2	APPROVED SITE DETAILS
SU-1	BOUNDARY/TOPO SURVEY
C-1	PAVING, GRADING AND DRAINAGE PLAN
C-2	ENGINEERING DETAILS
C-3	WATER AND SEWER PLAN
LS-1	LIFT STATION SPECIFICATIONS
C-4	GENERAL NOTES AND SPECIFICATIONS
C-5	GENERAL NOTES AND SPECIFICATIONS
FR-1	FIRE RESCUE PLAN
ER-1	EROSION CONTROL PLAN
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE MATERIAL SPECIFICATIONS
L-3	LANDSCAPE DETAILS AND SPECIFICATIONS

REVISIONS

PILLAR CONSULTANTS, INC.
Consulting Engineers, Planners, Surveyors
5230 S. UNIVERSITY DRIVE - SUITE 104
DOVE, FLORIDA 33328
Phone: (954) 880-6533

P.E. # 19461

NEW HORIZON UNITED METHODIST
CHURCH - MISSION BUILDING
SOUTHWEST RANCHES
BROWARD COUNTY, FLORIDA

SCALE: N.T.S.
DATE: 5/24/18

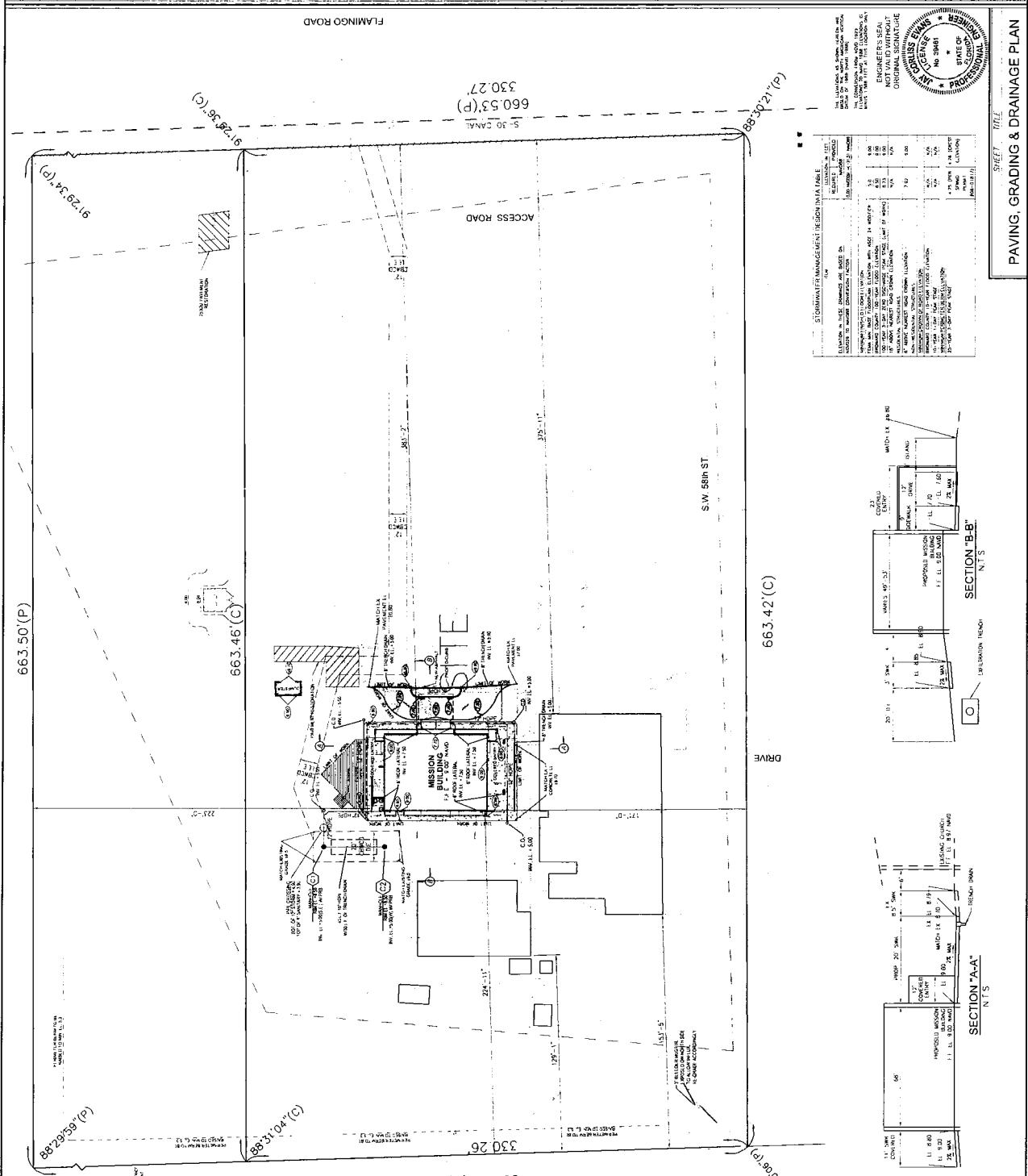
DRAWN BY: BAM

SHEET NO.

CS-1
17032



SHEET TITLE
COVER SHEET



LEGEND:

GRAPHIC SCALE:
 1 inch = 20 ft
 1 inch = 30 ft

EXISTING BERM (PER SWAD. PERMIT)

SECTION "A-A"
 N.T.S.

SECTION "B-B"
 N.T.S.

COMPARISON (PER MANAGEMENT REGION) TABLE

ITEM	EXISTING	PROPOSED	REMARKS
1. ROADWAY WIDTH	15.00	15.00	
2. ROADWAY GRADE	1.50	1.50	
3. ROADWAY CURB	1.50	1.50	
4. ROADWAY DRAINAGE	1.50	1.50	
5. ROADWAY LIGHTING	1.50	1.50	
6. ROADWAY SIGNAGE	1.50	1.50	
7. ROADWAY FURNISHINGS	1.50	1.50	
8. ROADWAY UTILITIES	1.50	1.50	
9. ROADWAY PAVEMENT	1.50	1.50	
10. ROADWAY EROSION CONTROL	1.50	1.50	
11. ROADWAY LANDSCAPING	1.50	1.50	
12. ROADWAY SECURITY	1.50	1.50	
13. ROADWAY SAFETY	1.50	1.50	
14. ROADWAY ACCESSIBILITY	1.50	1.50	
15. ROADWAY SUSTAINABILITY	1.50	1.50	
16. ROADWAY ENVIRONMENTAL	1.50	1.50	
17. ROADWAY SOCIAL	1.50	1.50	
18. ROADWAY ECONOMIC	1.50	1.50	
19. ROADWAY CULTURAL	1.50	1.50	
20. ROADWAY HISTORIC	1.50	1.50	
21. ROADWAY ARCHITECTURAL	1.50	1.50	
22. ROADWAY AESTHETIC	1.50	1.50	
23. ROADWAY VISUAL QUALITY	1.50	1.50	
24. ROADWAY AIR QUALITY	1.50	1.50	
25. ROADWAY NOISE	1.50	1.50	
26. ROADWAY CLIMATE	1.50	1.50	
27. ROADWAY ENERGY	1.50	1.50	
28. ROADWAY WATER	1.50	1.50	
29. ROADWAY SOIL	1.50	1.50	
30. ROADWAY PLANTS AND ANIMALS	1.50	1.50	
31. ROADWAY CULTURAL RESOURCES	1.50	1.50	
32. ROADWAY HISTORIC RESOURCES	1.50	1.50	
33. ROADWAY ARCHITECTURAL RESOURCES	1.50	1.50	
34. ROADWAY AESTHETIC RESOURCES	1.50	1.50	
35. ROADWAY VISUAL QUALITY RESOURCES	1.50	1.50	
36. ROADWAY AIR QUALITY RESOURCES	1.50	1.50	
37. ROADWAY NOISE RESOURCES	1.50	1.50	
38. ROADWAY CLIMATE RESOURCES	1.50	1.50	
39. ROADWAY ENERGY RESOURCES	1.50	1.50	
40. ROADWAY WATER RESOURCES	1.50	1.50	
41. ROADWAY SOIL RESOURCES	1.50	1.50	
42. ROADWAY PLANTS AND ANIMALS RESOURCES	1.50	1.50	
43. ROADWAY CULTURAL RESOURCES	1.50	1.50	
44. ROADWAY HISTORIC RESOURCES	1.50	1.50	
45. ROADWAY ARCHITECTURAL RESOURCES	1.50	1.50	
46. ROADWAY AESTHETIC RESOURCES	1.50	1.50	
47. ROADWAY VISUAL QUALITY RESOURCES	1.50	1.50	
48. ROADWAY AIR QUALITY RESOURCES	1.50	1.50	
49. ROADWAY NOISE RESOURCES	1.50	1.50	
50. ROADWAY CLIMATE RESOURCES	1.50	1.50	
51. ROADWAY ENERGY RESOURCES	1.50	1.50	
52. ROADWAY WATER RESOURCES	1.50	1.50	
53. ROADWAY SOIL RESOURCES	1.50	1.50	
54. ROADWAY PLANTS AND ANIMALS RESOURCES	1.50	1.50	
55. ROADWAY CULTURAL RESOURCES	1.50	1.50	
56. ROADWAY HISTORIC RESOURCES	1.50	1.50	
57. ROADWAY ARCHITECTURAL RESOURCES	1.50	1.50	
58. ROADWAY AESTHETIC RESOURCES	1.50	1.50	
59. ROADWAY VISUAL QUALITY RESOURCES	1.50	1.50	
60. ROADWAY AIR QUALITY RESOURCES	1.50	1.50	
61. ROADWAY NOISE RESOURCES	1.50	1.50	
62. ROADWAY CLIMATE RESOURCES	1.50	1.50	
63. ROADWAY ENERGY RESOURCES	1.50	1.50	
64. ROADWAY WATER RESOURCES	1.50	1.50	
65. ROADWAY SOIL RESOURCES	1.50	1.50	
66. ROADWAY PLANTS AND ANIMALS RESOURCES	1.50	1.50	
67. ROADWAY CULTURAL RESOURCES	1.50	1.50	
68. ROADWAY HISTORIC RESOURCES	1.50	1.50	
69. ROADWAY ARCHITECTURAL RESOURCES	1.50	1.50	
70. ROADWAY AESTHETIC RESOURCES	1.50	1.50	
71. ROADWAY VISUAL QUALITY RESOURCES	1.50	1.50	
72. ROADWAY AIR QUALITY RESOURCES	1.50	1.50	
73. ROADWAY NOISE RESOURCES	1.50	1.50	
74. ROADWAY CLIMATE RESOURCES	1.50	1.50	
75. ROADWAY ENERGY RESOURCES	1.50	1.50	
76. ROADWAY WATER RESOURCES	1.50	1.50	
77. ROADWAY SOIL RESOURCES	1.50	1.50	
78. ROADWAY PLANTS AND ANIMALS RESOURCES	1.50	1.50	
79. ROADWAY CULTURAL RESOURCES	1.50	1.50	
80. ROADWAY HISTORIC RESOURCES	1.50	1.50	
81. ROADWAY ARCHITECTURAL RESOURCES	1.50	1.50	
82. ROADWAY AESTHETIC RESOURCES	1.50	1.50	
83. ROADWAY VISUAL QUALITY RESOURCES	1.50	1.50	
84. ROADWAY AIR QUALITY RESOURCES	1.50	1.50	
85. ROADWAY NOISE RESOURCES	1.50	1.50	
86. ROADWAY CLIMATE RESOURCES	1.50	1.50	
87. ROADWAY ENERGY RESOURCES	1.50	1.50	
88. ROADWAY WATER RESOURCES	1.50	1.50	
89. ROADWAY SOIL RESOURCES	1.50	1.50	
90. ROADWAY PLANTS AND ANIMALS RESOURCES	1.50	1.50	
91. ROADWAY CULTURAL RESOURCES	1.50	1.50	
92. ROADWAY HISTORIC RESOURCES	1.50	1.50	
93. ROADWAY ARCHITECTURAL RESOURCES	1.50	1.50	
94. ROADWAY AESTHETIC RESOURCES	1.50	1.50	
95. ROADWAY VISUAL QUALITY RESOURCES	1.50	1.50	
96. ROADWAY AIR QUALITY RESOURCES	1.50	1.50	
97. ROADWAY NOISE RESOURCES	1.50	1.50	
98. ROADWAY CLIMATE RESOURCES	1.50	1.50	
99. ROADWAY ENERGY RESOURCES	1.50	1.50	
100. ROADWAY WATER RESOURCES	1.50	1.50	
101. ROADWAY SOIL RESOURCES	1.50	1.50	
102. ROADWAY PLANTS AND ANIMALS RESOURCES	1.50	1.50	
103. ROADWAY CULTURAL RESOURCES	1.50	1.50	
104. ROADWAY HISTORIC RESOURCES	1.50	1.50	
105. ROADWAY ARCHITECTURAL RESOURCES	1.50	1.50	
106. ROADWAY AESTHETIC RESOURCES	1.50	1.50	
107. ROADWAY VISUAL QUALITY RESOURCES	1.50	1.50	
108. ROADWAY AIR QUALITY RESOURCES	1.50	1.50	
109. ROADWAY NOISE RESOURCES	1.50	1.50	
110. ROADWAY CLIMATE RESOURCES	1.50	1.50	
111. ROADWAY ENERGY RESOURCES	1.50	1.50	
112. ROADWAY WATER RESOURCES	1.50	1.50	
113. ROADWAY SOIL RESOURCES	1.50	1.50	
114. ROADWAY PLANTS AND ANIMALS RESOURCES	1.50	1.50	
115. ROADWAY CULTURAL RESOURCES	1.50	1.50	
116. ROADWAY HISTORIC RESOURCES	1.50	1.50	
117. ROADWAY ARCHITECTURAL RESOURCES	1.50	1.50	
118. ROADWAY AESTHETIC RESOURCES	1.50	1.50	
119. ROADWAY VISUAL QUALITY RESOURCES	1.50	1.50	
120. ROADWAY AIR QUALITY RESOURCES	1.50	1.50	
121. ROADWAY NOISE RESOURCES	1.50	1.50	
122. ROADWAY CLIMATE RESOURCES	1.50	1.50	
123. ROADWAY ENERGY RESOURCES	1.50	1.50	
124. ROADWAY WATER RESOURCES	1.50	1.50	
125. ROADWAY SOIL RESOURCES	1.50	1.50	
126. ROADWAY PLANTS AND ANIMALS RESOURCES	1.50	1.50	
127. ROADWAY CULTURAL RESOURCES	1.50	1.50	
128. ROADWAY HISTORIC RESOURCES	1.50	1.50	
129. ROADWAY ARCHITECTURAL RESOURCES	1.50	1.50	
130. ROADWAY AESTHETIC RESOURCES	1.50	1.50	
131. ROADWAY VISUAL QUALITY RESOURCES	1.50	1.50	
132. ROADWAY AIR QUALITY RESOURCES	1.50	1.50	
133. ROADWAY NOISE RESOURCES	1.50	1.50	
134. ROADWAY CLIMATE RESOURCES	1.50	1.50	
135. ROADWAY ENERGY RESOURCES	1.50	1.50	
136. ROADWAY WATER RESOURCES	1.50	1.50	
137. ROADWAY SOIL RESOURCES	1.50	1.50	
138. ROADWAY PLANTS AND ANIMALS RESOURCES	1.50	1.50	
139. ROADWAY CULTURAL RESOURCES	1.50	1.50	
140. ROADWAY HISTORIC RESOURCES	1.50	1.50	
141. ROADWAY ARCHITECTURAL RESOURCES	1.50	1.50	
142. ROADWAY AESTHETIC RESOURCES	1.50	1.50	
143. ROADWAY VISUAL QUALITY RESOURCES	1.50	1.50	
144. ROADWAY AIR QUALITY RESOURCES	1.50	1.50	
145. ROADWAY NOISE RESOURCES	1.50	1.50	
146. ROADWAY CLIMATE RESOURCES	1.50	1.50	
147. ROADWAY ENERGY RESOURCES	1.50	1.50	
148. ROADWAY WATER RESOURCES	1.50	1.50	
149. ROADWAY SOIL RESOURCES	1.50	1.50	
150. ROADWAY PLANTS AND ANIMALS RESOURCES	1.50	1.50	
151. ROADWAY CULTURAL RESOURCES	1.50	1.50	
152. ROADWAY HISTORIC RESOURCES	1.50	1.50	
153. ROADWAY ARCHITECTURAL RESOURCES	1.50	1.50	
154. ROADWAY AESTHETIC RESOURCES	1.50	1.50	
155. ROADWAY VISUAL QUALITY RESOURCES	1.50	1.50	
156. ROADWAY AIR QUALITY RESOURCES	1.50	1.50	
157. ROADWAY NOISE RESOURCES	1.50	1.50	
158. ROADWAY CLIMATE RESOURCES	1.50	1.50	
159. ROADWAY ENERGY RESOURCES	1.50	1.50	
160. ROADWAY WATER RESOURCES	1.50	1.50	
161. ROADWAY SOIL RESOURCES	1.50	1.50	
162. ROADWAY PLANTS AND ANIMALS RESOURCES	1.50	1.50	
163. ROADWAY CULTURAL RESOURCES	1.50	1.50	
164. ROADWAY HISTORIC RESOURCES	1.50	1.50	
165. ROADWAY ARCHITECTURAL RESOURCES	1.50	1.50	
166. ROADWAY AESTHETIC RESOURCES	1.50	1.50	
167. ROADWAY VISUAL QUALITY RESOURCES	1.50	1.50	
168. ROADWAY AIR QUALITY RESOURCES	1.50	1.50	
169. ROADWAY NOISE RESOURCES	1.50	1.50	
170. ROADWAY CLIMATE RESOURCES	1.50	1.50	
171. ROADWAY ENERGY RESOURCES	1.50	1.50	
172. ROADWAY WATER RESOURCES	1.50	1.50	
173. ROADWAY SOIL RESOURCES	1.50	1.50	
174. ROADWAY PLANTS AND ANIMALS RESOURCES	1.50	1.50	
175. ROADWAY CULTURAL RESOURCES	1.50	1.50	
176. ROADWAY HISTORIC RESOURCES	1.50	1.50	
177. ROADWAY ARCHITECTURAL RESOURCES	1.50	1.50	
178. ROADWAY AESTHETIC RESOURCES	1.50	1.50	
179. ROADWAY VISUAL QUALITY RESOURCES	1.50	1.50	
180. ROADWAY AIR QUALITY RESOURCES	1.50	1.50	
181. ROADWAY NOISE RESOURCES	1.50	1.50	
182. ROADWAY CLIMATE RESOURCES	1.50	1.50	
183. ROADWAY ENERGY RESOURCES	1.50	1.50	
184. ROADWAY WATER RESOURCES	1.50	1.50	
185. ROADWAY SOIL RESOURCES	1.50	1.50	
186. ROADWAY PLANTS AND ANIMALS RESOURCES	1.50	1.50	
187. ROADWAY CULTURAL RESOURCES	1.50	1.50	
188. ROADWAY HISTORIC RESOURCES	1.50	1.50	
189. ROADWAY ARCHITECTURAL RESOURCES	1.50	1.50	
190. ROADWAY AESTHETIC RESOURCES	1.50	1.50	
191. ROADWAY VISUAL QUALITY RESOURCES	1.50	1.50	
192. ROADWAY AIR QUALITY RESOURCES	1.50	1.50	
193. ROADWAY NOISE RESOURCES	1.50	1.50	
194. ROADWAY CLIMATE RESOURCES	1.50	1.50	
195. ROADWAY ENERGY RESOURCES	1.50	1.50	
196. ROADWAY WATER RESOURCES	1.50	1.50	
197. ROADWAY SOIL RESOURCES	1.50	1.50	
198. ROADWAY PLANTS AND ANIMALS RESOURCES	1.50	1.50	
199. ROADWAY CULTURAL RESOURCES	1.50	1.50	
200. ROADWAY HISTORIC RESOURCES	1.50	1.50	
201. ROADWAY ARCHITECTURAL RESOURCES	1.50	1.50	
202. ROADWAY AESTHETIC RESOURCES	1.50	1.50	
203. ROADWAY VISUAL QUALITY RESOURCES	1.50	1.50	
204. ROADWAY AIR QUALITY RESOURCES	1.50	1.50	
205. ROADWAY NOISE RESOURCES	1.50	1.50	
206. ROADWAY CLIMATE RESOURCES	1.50	1.50	
207. ROADWAY ENERGY RESOURCES	1.50	1.50	
208. ROADWAY WATER RESOURCES	1.50	1.50	
209. ROADWAY SOIL RESOURCES	1.50	1.50	
210. ROADWAY PLANTS AND ANIMALS RESOURCES	1.50	1.50	
211. ROADWAY CULTURAL RESOURCES	1.50	1.50	
212. ROADWAY HISTORIC RESOURCES	1.50	1.50	
213. ROADWAY ARCHITECTURAL RESOURCES	1.50	1.50	
214. ROADWAY AESTHETIC RESOURCES	1.50	1.50	
215. ROADWAY VISUAL QUALITY RESOURCES	1.50	1.50	
216. ROADWAY AIR QUALITY RESOURCES	1.50	1.50	
217. ROADWAY NOISE RESOURCES	1.50	1.50	
218. ROADWAY CLIMATE RESOURCES	1.50	1.50	
219. ROADWAY ENERGY RESOURCES	1.50	1.50	
220. ROADWAY WATER RESOURCES	1.50	1.50	
221. ROADWAY SOIL RESOURCES	1.50	1.50	
222. ROADWAY PLANTS AND ANIMALS RESOURCES	1.50	1.50	
223. ROADWAY CULTURAL RESOURCES	1.50	1.50	
224. ROADWAY HISTORIC RESOURCES	1.50	1.50	
225. ROADWAY ARCHITECTURAL RESOURCES	1.50	1.50	
226. ROADWAY AESTHETIC RESOURCES	1.50	1.50	
227. ROADWAY VISUAL QUALITY RESOURCES	1.50	1.50	
228. ROADWAY AIR QUALITY RESOURCES	1.50	1.50	
229. ROADWAY NOISE RESOURCES	1.50	1.50	
230. ROADWAY CLIMATE RESOURCES	1.50	1.50	
231. ROADWAY ENERGY RESOURCES	1.50	1.50	
232. ROADWAY WATER RESOURCES	1.50	1.50	
233. ROADWAY SOIL RESOURCES	1.50	1.50	
234. ROADWAY PLANTS AND ANIMALS RESOURCES	1.50	1.50	
235. ROADWAY CULTURAL RESOURCES	1.50	1.50	
236. ROADWAY HISTORIC RESOURCES	1.50	1.50	
237. ROADWAY ARCHITECTURAL RESOURCES	1.50	1.50	
238. ROADWAY AESTHETIC RESOURCES	1.50	1.50	
239. ROADWAY VISUAL QUALITY RESOURCES	1.50	1.50	
240. ROADWAY AIR QUALITY RESOURCES	1.50	1.50	
241. ROADWAY NOISE RESOURCES	1.50	1.50	
242. ROADWAY CLIMATE RESOURCES	1.50	1.50	
243. ROADWAY ENERGY RESOURCES	1.50	1.50	
244. ROADWAY WATER RESOURCES	1.50	1.50	
245. ROADWAY SOIL RESOURCES	1.50	1.50	

REVISIONS

NO. 1. DATE: 05/24/18
BY: JHW

SCALE: N.T.S.

PROJECT: CHURCH - MISSION BUILDING
SOUTHWEST RANCHES
BROWARD COUNTY, FLORIDA

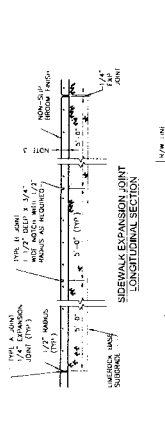
PILLAR CONSULTANTS, INC.
Consulting Engineers, Planners, Surveyors
5230 S. UNIVERSITY DRIVE, SUITE 102
DAVIE, FLORIDA 33328
Phone (954) 680-6533

ENGINEER'S SEAL
NOT VALID WITHOUT
SEAL OF REGISTERED
PROFESSIONAL ENGINEER
STATE OF FLORIDA
No. 39481
JAMES W. HAYES
P.E.

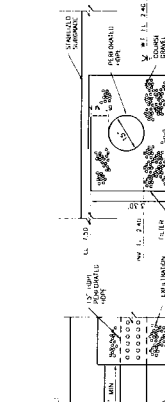
DATE: 05/24/18
DRAWN BY: JHW
SHEET NO: C-2
17/032

THE FOLLOWING IS A SUMMARY OF THE WORK
AND THE DESIGNER'S RESPONSIBILITY FOR THE
COMPLETION OF THIS PROJECT.
THIS PROJECT IS NOT TO BE USED FOR ANY OTHER
PURPOSE WITHOUT THE WRITTEN CONSENT OF THE
DESIGNER.

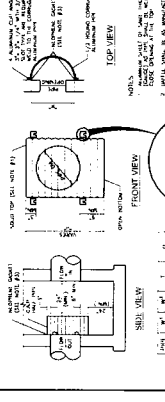
ENGINEERING DETAILS



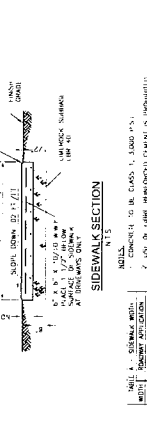
1. SIDEWALK WITH EXPANSION JOINT SHALL BE CONCRETE, 3000 P.S.I.
2. JOINTS SHALL BE CLASS 1, 3000 P.S.I.
3. JOINTS SHALL BE CLASS 1, 3000 P.S.I.
4. JOINTS SHALL BE CLASS 1, 3000 P.S.I.
5. JOINTS SHALL BE CLASS 1, 3000 P.S.I.
6. JOINTS SHALL BE CLASS 1, 3000 P.S.I.
7. JOINTS SHALL BE CLASS 1, 3000 P.S.I.
8. JOINTS SHALL BE CLASS 1, 3000 P.S.I.
9. JOINTS SHALL BE CLASS 1, 3000 P.S.I.
10. JOINTS SHALL BE CLASS 1, 3000 P.S.I.



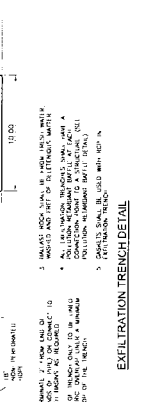
1. INFILTRATION TRENCH SHALL BE CONCRETE, 3000 P.S.I.
2. INFILTRATION TRENCH SHALL BE CONCRETE, 3000 P.S.I.
3. INFILTRATION TRENCH SHALL BE CONCRETE, 3000 P.S.I.
4. INFILTRATION TRENCH SHALL BE CONCRETE, 3000 P.S.I.
5. INFILTRATION TRENCH SHALL BE CONCRETE, 3000 P.S.I.
6. INFILTRATION TRENCH SHALL BE CONCRETE, 3000 P.S.I.
7. INFILTRATION TRENCH SHALL BE CONCRETE, 3000 P.S.I.
8. INFILTRATION TRENCH SHALL BE CONCRETE, 3000 P.S.I.
9. INFILTRATION TRENCH SHALL BE CONCRETE, 3000 P.S.I.
10. INFILTRATION TRENCH SHALL BE CONCRETE, 3000 P.S.I.



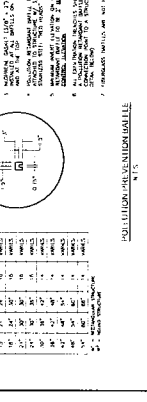
1. STORM MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
2. STORM MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
3. STORM MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
4. STORM MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
5. STORM MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
6. STORM MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
7. STORM MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
8. STORM MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
9. STORM MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
10. STORM MANHOLE SHALL BE CONCRETE, 3000 P.S.I.



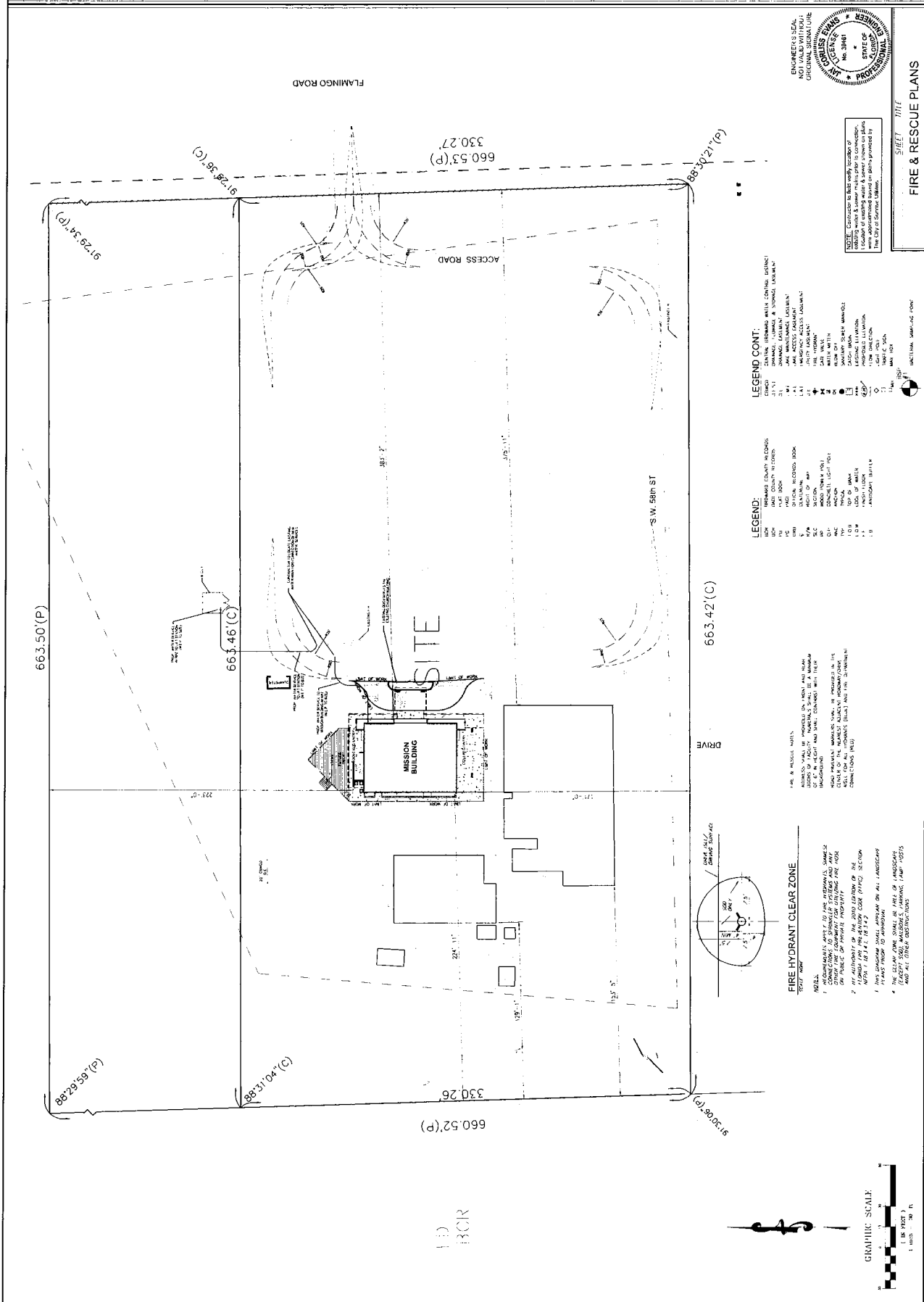
1. INFILTRATION MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
2. INFILTRATION MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
3. INFILTRATION MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
4. INFILTRATION MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
5. INFILTRATION MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
6. INFILTRATION MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
7. INFILTRATION MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
8. INFILTRATION MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
9. INFILTRATION MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
10. INFILTRATION MANHOLE SHALL BE CONCRETE, 3000 P.S.I.



1. ROOF DRAIN SHALL BE CONCRETE, 3000 P.S.I.
2. ROOF DRAIN SHALL BE CONCRETE, 3000 P.S.I.
3. ROOF DRAIN SHALL BE CONCRETE, 3000 P.S.I.
4. ROOF DRAIN SHALL BE CONCRETE, 3000 P.S.I.
5. ROOF DRAIN SHALL BE CONCRETE, 3000 P.S.I.
6. ROOF DRAIN SHALL BE CONCRETE, 3000 P.S.I.
7. ROOF DRAIN SHALL BE CONCRETE, 3000 P.S.I.
8. ROOF DRAIN SHALL BE CONCRETE, 3000 P.S.I.
9. ROOF DRAIN SHALL BE CONCRETE, 3000 P.S.I.
10. ROOF DRAIN SHALL BE CONCRETE, 3000 P.S.I.



1. INFILTRATION MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
2. INFILTRATION MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
3. INFILTRATION MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
4. INFILTRATION MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
5. INFILTRATION MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
6. INFILTRATION MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
7. INFILTRATION MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
8. INFILTRATION MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
9. INFILTRATION MANHOLE SHALL BE CONCRETE, 3000 P.S.I.
10. INFILTRATION MANHOLE SHALL BE CONCRETE, 3000 P.S.I.



LEGEND:
 LEGEND CONT:
 1. 1" = 30'
 2. 1" = 30'
 3. 1" = 30'
 4. 1" = 30'
 5. 1" = 30'
 6. 1" = 30'
 7. 1" = 30'
 8. 1" = 30'
 9. 1" = 30'
 10. 1" = 30'
 11. 1" = 30'
 12. 1" = 30'
 13. 1" = 30'
 14. 1" = 30'
 15. 1" = 30'
 16. 1" = 30'
 17. 1" = 30'
 18. 1" = 30'
 19. 1" = 30'
 20. 1" = 30'
 21. 1" = 30'
 22. 1" = 30'
 23. 1" = 30'
 24. 1" = 30'
 25. 1" = 30'
 26. 1" = 30'
 27. 1" = 30'
 28. 1" = 30'
 29. 1" = 30'
 30. 1" = 30'
 31. 1" = 30'
 32. 1" = 30'
 33. 1" = 30'
 34. 1" = 30'
 35. 1" = 30'
 36. 1" = 30'
 37. 1" = 30'
 38. 1" = 30'
 39. 1" = 30'
 40. 1" = 30'
 41. 1" = 30'
 42. 1" = 30'
 43. 1" = 30'
 44. 1" = 30'
 45. 1" = 30'
 46. 1" = 30'
 47. 1" = 30'
 48. 1" = 30'
 49. 1" = 30'
 50. 1" = 30'

LEGEND CONT:
 51. 1" = 30'
 52. 1" = 30'
 53. 1" = 30'
 54. 1" = 30'
 55. 1" = 30'
 56. 1" = 30'
 57. 1" = 30'
 58. 1" = 30'
 59. 1" = 30'
 60. 1" = 30'
 61. 1" = 30'
 62. 1" = 30'
 63. 1" = 30'
 64. 1" = 30'
 65. 1" = 30'
 66. 1" = 30'
 67. 1" = 30'
 68. 1" = 30'
 69. 1" = 30'
 70. 1" = 30'
 71. 1" = 30'
 72. 1" = 30'
 73. 1" = 30'
 74. 1" = 30'
 75. 1" = 30'
 76. 1" = 30'
 77. 1" = 30'
 78. 1" = 30'
 79. 1" = 30'
 80. 1" = 30'

LEGEND:
 LEGEND:
 1. 1" = 30'
 2. 1" = 30'
 3. 1" = 30'
 4. 1" = 30'
 5. 1" = 30'
 6. 1" = 30'
 7. 1" = 30'
 8. 1" = 30'
 9. 1" = 30'
 10. 1" = 30'
 11. 1" = 30'
 12. 1" = 30'
 13. 1" = 30'
 14. 1" = 30'
 15. 1" = 30'
 16. 1" = 30'
 17. 1" = 30'
 18. 1" = 30'
 19. 1" = 30'
 20. 1" = 30'
 21. 1" = 30'
 22. 1" = 30'
 23. 1" = 30'
 24. 1" = 30'
 25. 1" = 30'
 26. 1" = 30'
 27. 1" = 30'
 28. 1" = 30'
 29. 1" = 30'
 30. 1" = 30'

LEGEND:
 LEGEND:
 31. 1" = 30'
 32. 1" = 30'
 33. 1" = 30'
 34. 1" = 30'
 35. 1" = 30'
 36. 1" = 30'
 37. 1" = 30'
 38. 1" = 30'
 39. 1" = 30'
 40. 1" = 30'
 41. 1" = 30'
 42. 1" = 30'
 43. 1" = 30'
 44. 1" = 30'
 45. 1" = 30'
 46. 1" = 30'
 47. 1" = 30'
 48. 1" = 30'
 49. 1" = 30'
 50. 1" = 30'

LEGEND:
 LEGEND:
 51. 1" = 30'
 52. 1" = 30'
 53. 1" = 30'
 54. 1" = 30'
 55. 1" = 30'
 56. 1" = 30'
 57. 1" = 30'
 58. 1" = 30'
 59. 1" = 30'
 60. 1" = 30'
 61. 1" = 30'
 62. 1" = 30'
 63. 1" = 30'
 64. 1" = 30'
 65. 1" = 30'
 66. 1" = 30'
 67. 1" = 30'
 68. 1" = 30'
 69. 1" = 30'
 70. 1" = 30'
 71. 1" = 30'
 72. 1" = 30'
 73. 1" = 30'
 74. 1" = 30'
 75. 1" = 30'

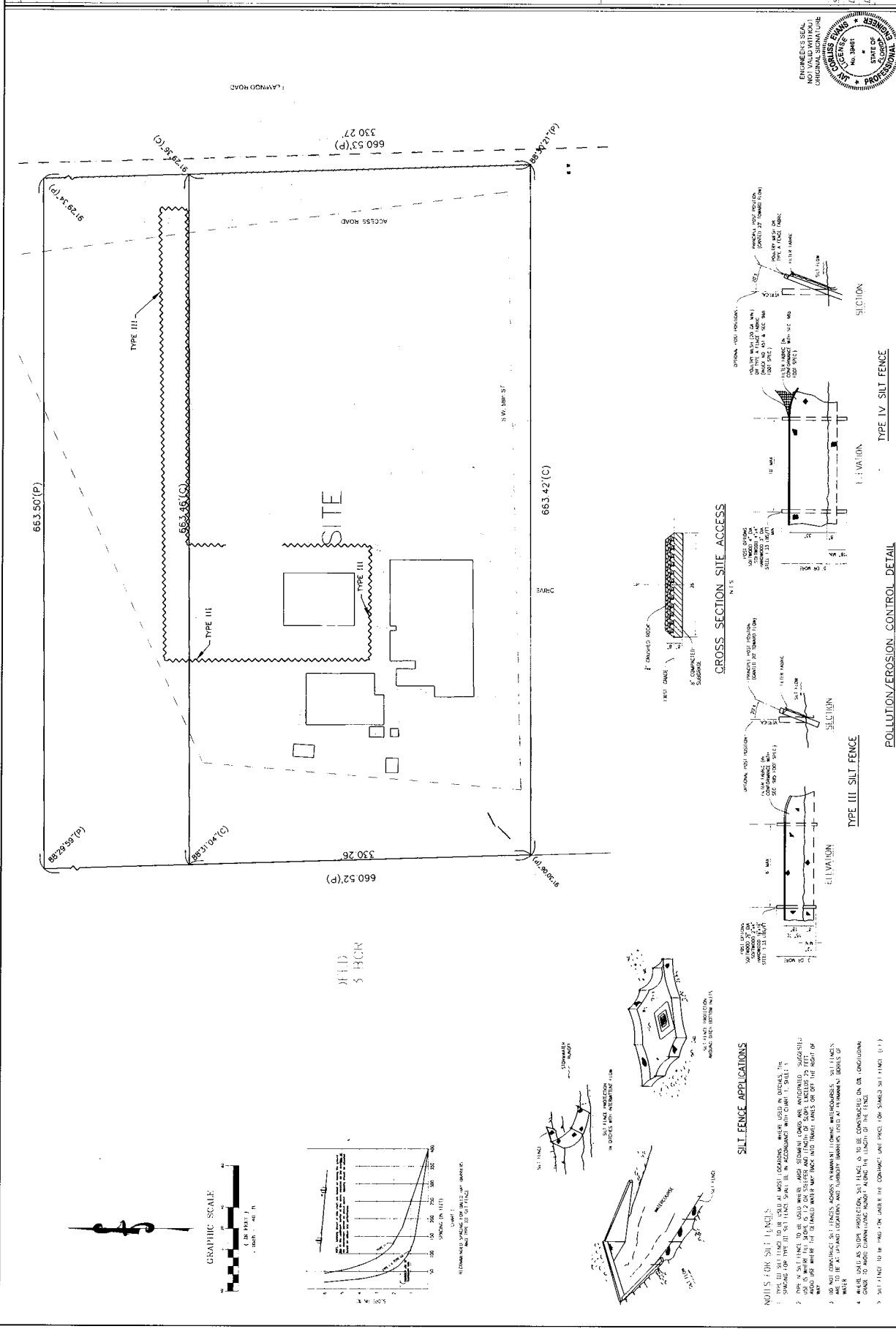
LEGEND:
 LEGEND:
 76. 1" = 30'
 77. 1" = 30'
 78. 1" = 30'
 79. 1" = 30'
 80. 1" = 30'
 81. 1" = 30'
 82. 1" = 30'
 83. 1" = 30'
 84. 1" = 30'
 85. 1" = 30'
 86. 1" = 30'
 87. 1" = 30'
 88. 1" = 30'
 89. 1" = 30'
 90. 1" = 30'

LEGEND:
 LEGEND:
 91. 1" = 30'
 92. 1" = 30'
 93. 1" = 30'
 94. 1" = 30'
 95. 1" = 30'
 96. 1" = 30'
 97. 1" = 30'
 98. 1" = 30'
 99. 1" = 30'
 100. 1" = 30'

LEGEND:
 LEGEND:
 101. 1" = 30'
 102. 1" = 30'
 103. 1" = 30'
 104. 1" = 30'
 105. 1" = 30'
 106. 1" = 30'
 107. 1" = 30'
 108. 1" = 30'
 109. 1" = 30'
 110. 1" = 30'

LEGEND:
 LEGEND:
 111. 1" = 30'
 112. 1" = 30'
 113. 1" = 30'
 114. 1" = 30'
 115. 1" = 30'
 116. 1" = 30'
 117. 1" = 30'
 118. 1" = 30'
 119. 1" = 30'
 120. 1" = 30'

EROSION CONTROL PLAN



E & C Engineers, Inc.
 Electrical Engineering
 11770 NW 15th Ave, Suite 100
 Fort Lauderdale, FL 33305
 Phone: (954) 341-7100
 Fax: (954) 341-7100

**NEW HORIZON
 UNITED METHODIST CHURCH**

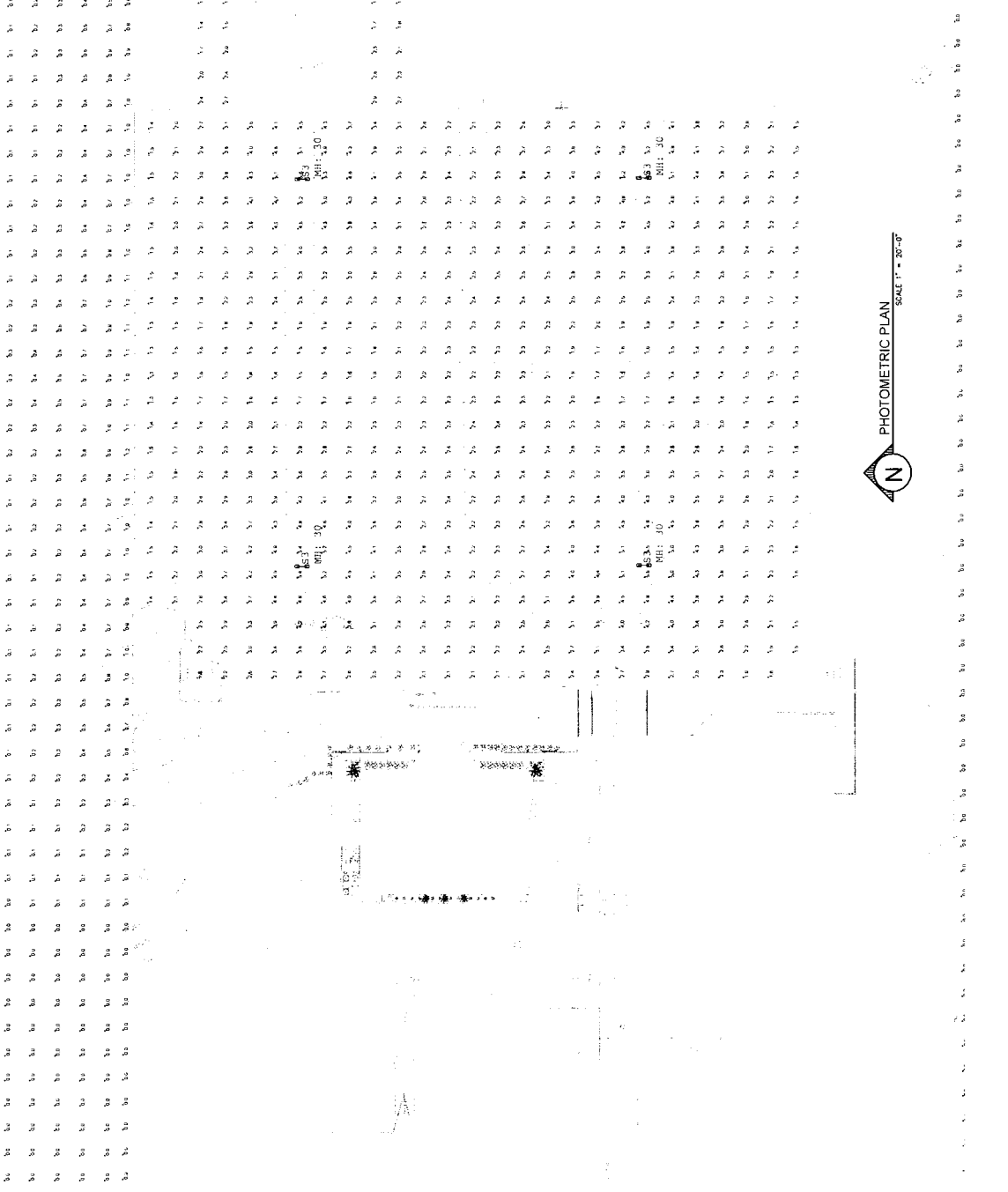
**TOWN OF DAVIE
 BROWARD COUNTY
 FLORIDA**

**PHOTOMETRIC
 PLANS**

REVISIONS

PHOTOMETRIC PLAN
 SCALE 1" = 20'-0"

PHM-1
 Sheet



Luminaire Scheduling	City	Code	Description	CU	Um. Lumens
1	4	32	ATMOSPHERIC (2) WHITE LED 0.350084UMINS (0.8) X 2.5000 (0.8) X 1.30 AF 50	0.3500	23120

Calculation Summary					
Label	Calc. Type	Units	Min	Max	Max/Min
FARRING LOT	Illuminance	Fc	2.75	5.6	2.04
PROPERTY LINE	Illuminance	Fc	0.16	1.2	7.5
SPILL LIGHT FOOTC	Illuminance	Fc	0.11	1.0	9.1

**This page
intentionally left blank**



Town of Southwest Ranches
13400 Griffin Road
Southwest Ranches, FL 33330-2628

(954) 434-0008 Town Hall
(954) 434-1490 Fax

Town Council
Doug McKay, *Mayor*
Gary Jablonski, *Vice Mayor*
Freddy Fisikelli, *Council Member*
Bob Hartmann, *Council Member*
Denise Schroeder, *Council Member*

Andrew D. Berns, *Town Administrator*
Keith M. Poliakoff, *JD, Town Attorney*
Russell Muniz, *Assistant Town Administrator/Town Clerk*
Martin D. Sherwood, *CPA, CGMA, CGFO, Town Financial Administrator*

COUNCIL MEMORANDUM

TO: Honorable Mayor McKay and Town Council
VIA: Andy Berns, Town Administrator
FROM: Jeff Katims
DATE: 2/20/2019
SUBJECT: Site Plan Modification - Sikh Society of Florida, Inc.

Recommendation

Approval, with conditions enumerated in the agenda report.

Unanimous Vote of the Town Council Required?

Yes

Strategic Priorities

- A. Sound Governance
- E. Cultivate a Vibrant Community

Background

Sikh Society requests site plan modification for a one-story, 2,287 square-foot building addition to the northwest portion of the facility in the grassed area between the existing building and the parking lot.

The addition consolidates egress to the facility into a single entrance from the north side of the building, while creating a multimedia center/conference room, small study rooms and additional restroom.

Fiscal Impact/Analysis

N/A

Staff Contact:

Jeff Katims, AICP, CNU-A

ATTACHMENTS:

Description	Upload Date	Type
Site Plan Modification Reso - TA Approved	4/3/2019	Resolution
Staff report	2/20/2019	Backup Material
Location Map	2/20/2019	Backup Material
Site Plan	2/20/2019	Backup Material
Site Plan (sheet #2)	2/20/2019	Backup Material
Site Plan (sheet #3)	2/20/2019	Backup Material
Mail Notice Radius Map	2/20/2019	Backup Material
Mail Notice List	2/20/2019	Backup Material

RESOLUTION NO. 2019-XXX

A RESOLUTION AND FINAL ORDER OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING APPLICATION NO. SP-71-18 BY THE SIKH SOCIETY OF FLORIDA, INC. TO AMEND ITS EXISTING SITE PLAN TO ADD AN ADDITIONAL 2,287 SQUARE FEET OF BUILDING AREA TO THE EXISTING FACILITY; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Sikh Society of Florida, Inc. is the current owner ("Owner") of property within Parcel "A" of Sikh Society Plat, as recorded in Plat Book 120, Page 9 of the Broward County, Florida Public Records, as well as the owner of Parcel A of Requejo Subdivision, as recorded in Plat Book 163, Page 14; and

WHEREAS, Petitioner requests modification of its existing approved site plan to erect a 2,287 square-foot building addition; and

WHEREAS, the Town Council of the Town of Southwest Ranches, Florida ("Town Council") finds that the proposed site plan amendment complies with the requirements of the Town's Unified Land Development Code ("ULDC").

NOW, THEREFORE BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA:

Section 1. That the foregoing "WHEREAS" clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this Resolution.

Section 2. That, upon reviewing the application, analysis of the Town Staff, testimony and the evidence submitted at a duly noticed public hearing held on April 11, 2019, the Town Council hereby approves Site Plan Modification Application No. SP-71-18, in accordance with the following stipulated conditions:

1. Prior to the issuance of a building permit, execute a Unity of Title Agreement in a form and format acceptable to the Town Attorney that unifies the title of the developed 1.67 acre parcel to the undeveloped 0.73 acre parcel. This agreement shall be recorded in the Broward County Public Records, and shall be binding on successors and assigns.
2. Prior to the issuance of a building permit, execute a Parking Agreement in a form and format acceptable to the Town Attorney that prohibits the use of more than

one assembly area at any one time. The agreement shall include provisions authorizing Town's un-noticed right of inspection to confirm compliance with the Agreement, enforcement, and recovery of Attorney's fees for any violation thereof. This agreement shall be recorded in the Broward County Public Records, and shall be binding on successors and assigns.

3. Prior to issuance of a certificate of occupancy, install an opaque, white vinyl fence 5 to 6 feet in height behind the existing shrub line along the Dykes Road frontage of the undeveloped parcel.
4. Prior to the issuance of a certificate of occupancy, restore the shrubs so as to create an opaque screen and plant Live Oaks behind the fence 30 feet on center. Continue this landscape treatment along SW 61 Court.
5. Prior to the issuance of a building permit, Petitioner shall submit all building and landscape plans to the Town for review and approval.
6. Comply with technical corrections to the site plan documents pursuant to the final Development Review Comments memorandum dated January 3, 2019.

Section 3. The Mayor, Town Administrator and Town Attorney are each authorized to execute any and all documents necessary to effectuate the intent of this Resolution.

Section 4. This Resolution shall become effective immediately upon adoption.

[Signatures on Following Page]

PASSED AND ADOPTED by the Town Council of the Town of Southwest

Ranches, Florida, this ___ day of _____, 2019, on a motion by

and seconded by _____.

McKay	_____	Ayes	_____
Jablonski	_____	Nays	_____
Fisikelli	_____	Absent	_____
Hartman	_____	Abstaining	_____
Schroeder	_____		

Doug McKay, Mayor

ATTEST:

Russell Muniz, Assistant Town Administrator/Town Clerk

Approved as to Form and Correctness:

Keith Poliakoff, Town Attorney

34725117.1

**This page
intentionally left blank**

**TOWN OF SOUTHWEST RANCHES
TOWN COUNCIL AGENDA REPORT**

- DATE:** February 13, 2019
- SUBJECT:** Site Plan Modification Application SP-71-18; Sikh Society of Florida, Inc.
- ADDRESS:** 16000 SW 60th Street, Southwest Ranches, FL
- LOCATION:** The southwest corner of the intersection of Dykes Road and Stirling Road
- ZONING:** CF, Community Facility (developed parcel)
RE, Rural Estate (undeveloped parcel)
- LAND USE PLAN DESIGNATION:** Rural Estates
- PETITIONER:** Sikh Society of Florida, Inc.
- OWNER:** Sikh Society of Florida, Inc.
- REQUEST:** Site plan modification for a 2,287 SF addition to the existing 9,800 SF building to the existing 62-space parking lot on the north side of the temple building.
- EXHIBITS:** Staff Report, Aerial Photograph, Site Plan, and Mail Notification Radius Map and Mailing List.

BACKGROUND

The Sikh Society of Florida, Inc. ("Petitioner") owns approximately 2.4 net acres at the southwest corner of Stirling and Dykes roads, of which 1.674 net acres are zoned Community Facility (CF) and developed with two single-story buildings connected by a covered breezeway that total approximately 11,550 square feet under roof and 9,800 square feet of enclosed building area. The remaining 0.73 net acre is zoned Rural Estates (RE) and is not developed, and is not proposed for development. The developed parcel comprises the Sikh Society Plat, which is not restricted as to floor area.

SITE PLAN MODIFICATION REQUEST

The Petitioner requests modification of the Sikh Society Site Plan for a one-story, 2,287 square-foot building addition to the northwest portion of the facility in the grassed area between the existing building and the parking lot. The application states that initial concept entailed walling-off the two open sides of the breezeway to create a single facility entrance to address security concerns about the large number of outside entrances into the facility. The concept evolved into a roofed addition that consolidates egress to the facility into a single entrance from the north side of the building, while creating a multimedia center/conference room, small study rooms and additional restroom.

The existing facility contains a 2,681 square-foot worship area, 2,758 multi-use/dining room, 1,300 square-foot priest's residence, and ancillary facilities. The Town's Unified Land Development Code requires one parking space for each 50 square feet of assembly area with non-fixed seating, and 2 parking spaces for the priest's residence, resulting in a requirement for 111 parking spaces. The addition would add 2,158 square feet of assembly area and a separate 129 square-foot bathroom, increasing the parking requirement to 152 parking spaces.

The existing parking facility has 62 paved parking spaces based upon the standards in the county's zoning regulations when the facility was constructed, prior to the Town's incorporation. The county's parking requirement was based only upon only the capacity of the largest of the assembly rooms, exclusive of other assembly areas, under the assumption that the various assembly facilities would not be utilized simultaneously.

The Town's parking regulations allow a facility to base its required parking on only the largest of the assembly areas provided that the owner enters into an enforceable agreement with the Town to limit its use of the facilities to only one assembly area at any given time. Petitioner has agreed to enter into an enforceable agreement with the Town, stipulating that the multimedia/conference room addition will not be used simultaneously with the worship area or multi-use/dining room, and furthermore that only one assembly areas may be used at any one time. Based upon the noncurrent use of the facilities, additional parking spaces would not be required under the Unified Land Development Code. It is also noted that the Petitioner uses the grassed area on its property located east of the buildings for overflow parking to substantially supplement the number of cars that the facility can accommodate.

The proposed addition complies with setback, plot coverage, impervious area and floor area ratio (F.A.R.) requirements as follows: proposed setback to west and north property lines are 50 feet and more than 100 feet respectively, where 50 feet is required; proposed plot coverage of 13.2 percent where 20 percent is the maximum allowed; proposed impervious area of 35.2 percent where 60 percent is the maximum

allowed; and, F.A.R. of 0.12 where .25 is the maximum allowed. The height of the proposed addition will measure 25 feet to its highest point, whereas 35 feet measured to the midline of the roof is allowed.

The proposed addition will not displace any trees, and the site complies with landscaping requirements. SBDD and the Town Engineer have approved the site drainage subject to the Petitioner obtaining a Town Paving, Grading and Drainage Permit and SBDD Paving and Drainage Permit. Finally, the Fire Marshal has determined the Site Plan Modification to be acceptable.



STAFF RECOMMENDATION:

Staff finds that the proposed addition complies with the requirements of the Unified Land Development Code subject to the following conditions that must be met prior to issuance of a building permit:

1. Execute a Unity of Title Agreement in a form acceptable to the Town Attorney that unifies the title of the developed 1.67 acre parcel and undeveloped .73 acre parcel. This agreement shall be recorded in the Broward County Public Records.
2. Execute a Parking Agreement in a form acceptable to the Town Attorney that prohibits the use of more than one assembly area at any one time. The agreement shall include provisions authorizing Town's right of inspection to confirm compliance with the agreement, enforcement, and recovery of Attorney's fees in favor of the Town.
3. Install an opaque, white vinyl fence 5 to 6 feet in height behind the existing shrub line along the Dykes Road frontage of the undeveloped parcel.
4. Restore the shrubs so as to create an opaque screen and plant Live Oaks behind the fence 30 feet on center. Continue this landscape treatment along SW 61 Court. This condition first requires that Petitioner submits building and landscape plans to the Town and obtains all required approvals and permits.
5. Comply with technical corrections to the site plan documents pursuant to the final Development Review Comments memorandum dated January 3, 2019.

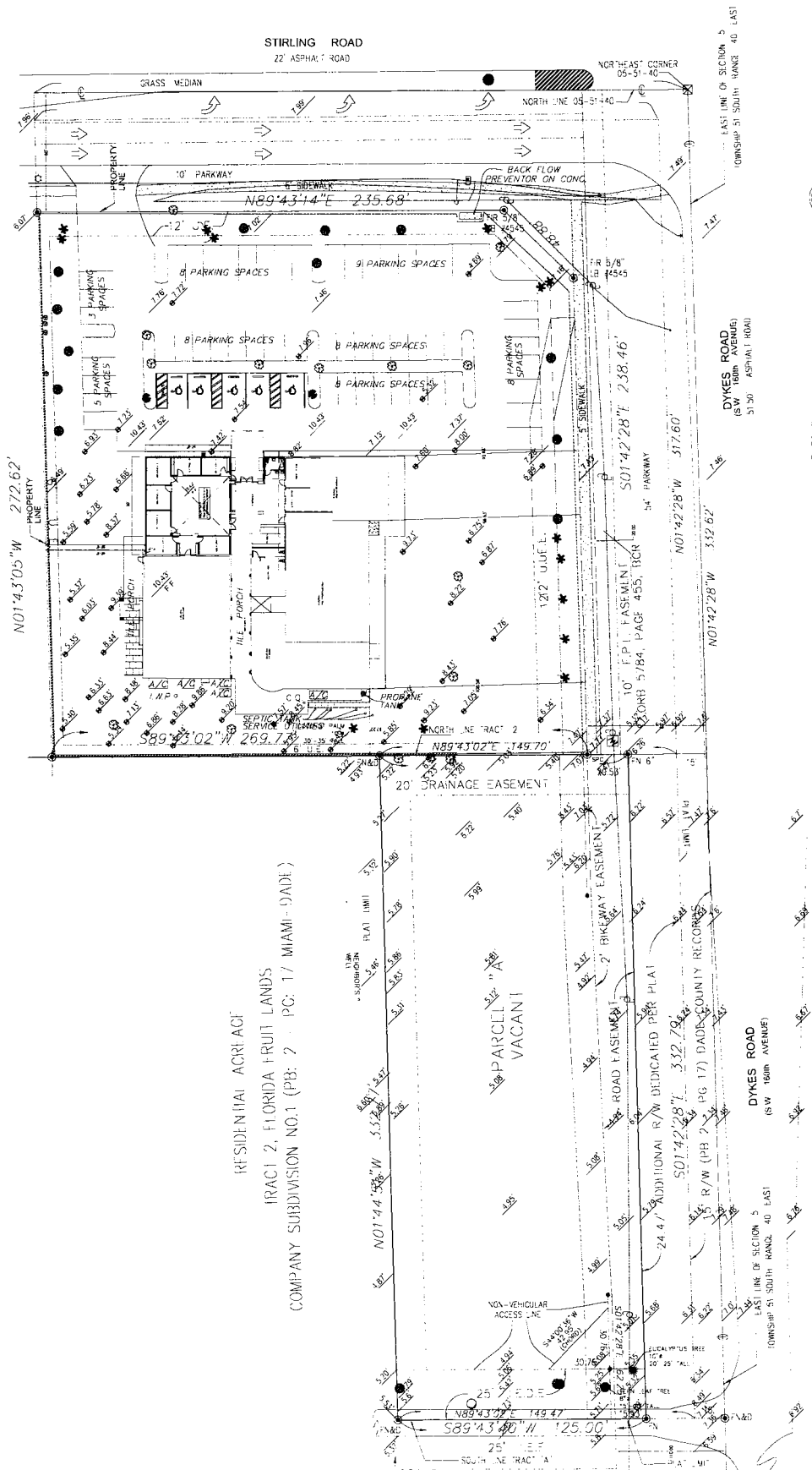
**This page
intentionally left blank**



 Subject Site | 16000 SW 60th Street
 Southwest Ranches Boundary

**Aerial | Sikh Society of Florida, Inc.
16000 SW 60th Street**

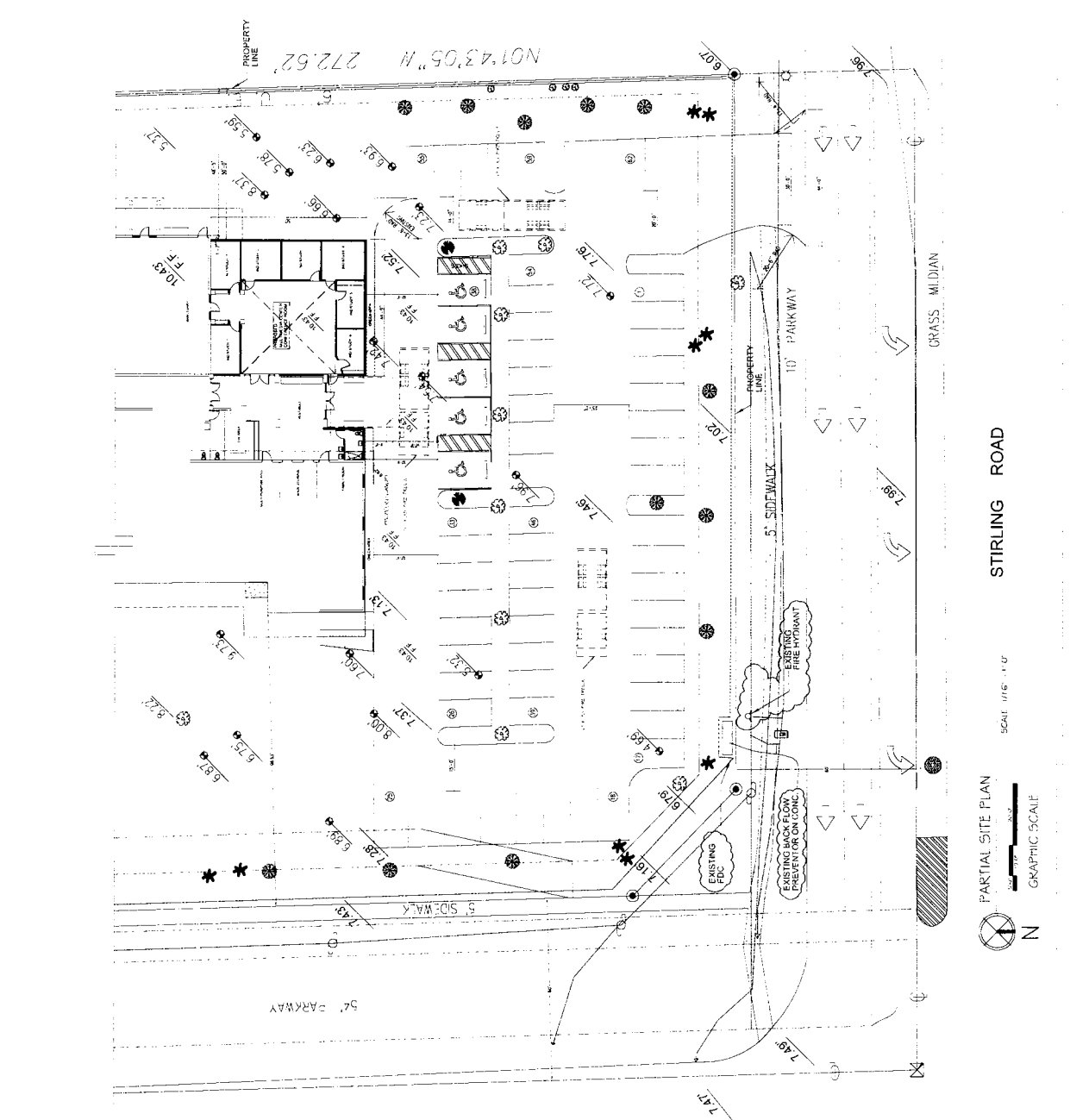
PARCEL "A"
 (PB 132 - PG 45)
 BROWARD COUNTY



RESIDENTIAL AGRICULTURE
 TRACT 2, FLORIDA FRUIT LANDS
 COMPANY SUBDIVISION NO.1 (PB: 2 - PG: 17 MIAMI-DADE)

50.5-NE ACRES - PLAT PB 125 - PG 47
 BROWARD COUNTY RECORDS

PROJECT NAME: PROPOSED ADDITION AND REMODELING FOR
 OWNER: SIKK SOCIETY OF FLORIDA
 ADDRESS: 6000 STIRLING RD. SOUTHWEST RANCHOES, FLORIDA

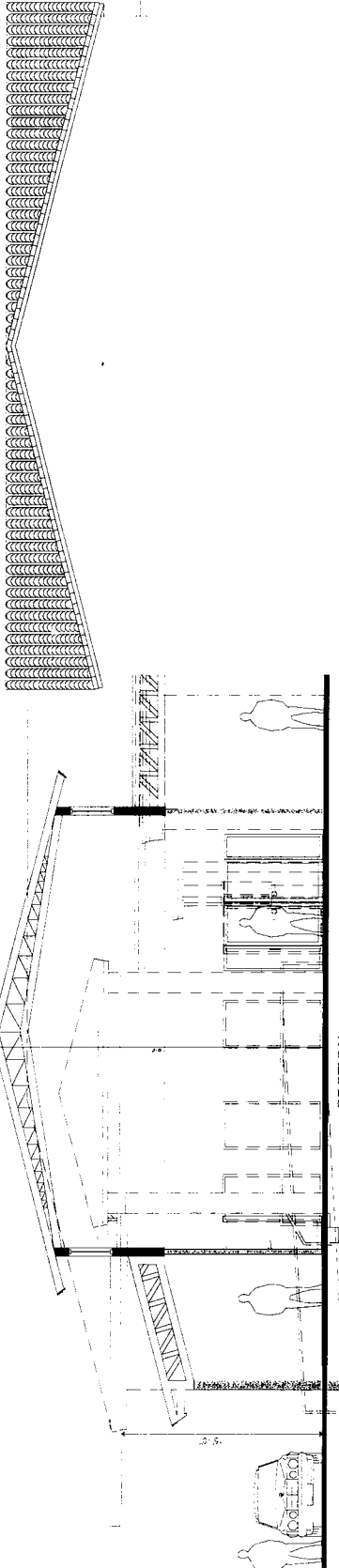
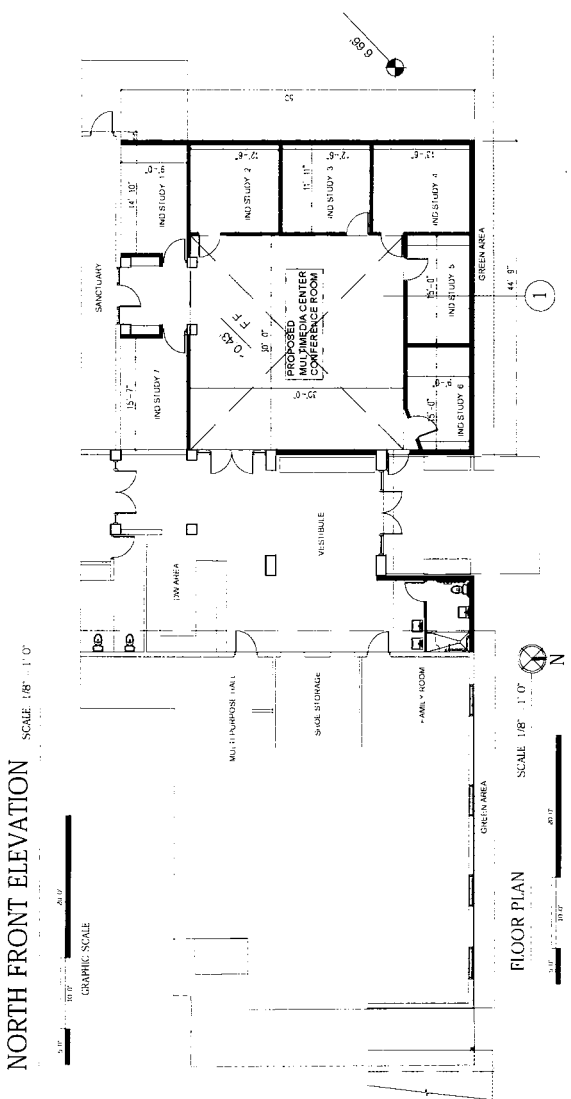
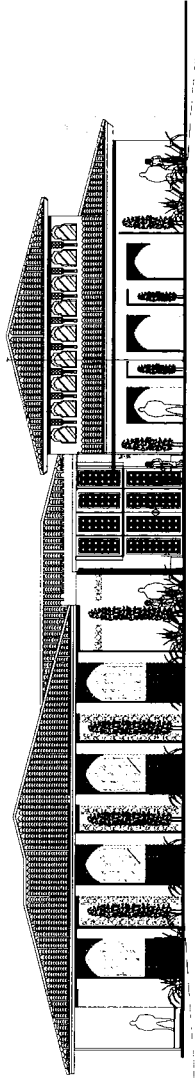


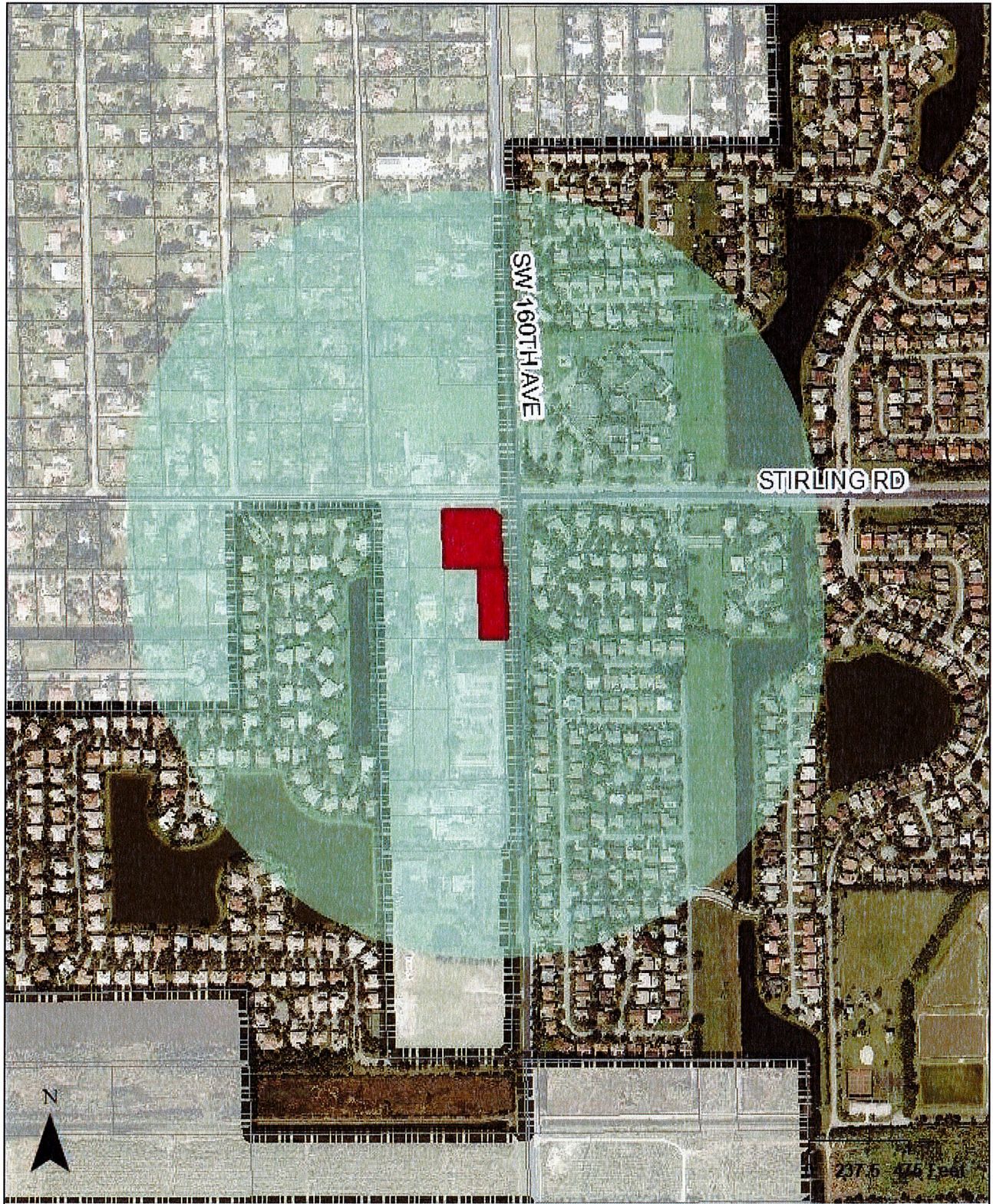
DYKES ROAD (S.W. 160th AVENUE)
 STIRLING ROAD
 GRASS MILDIAN

SCALE: 1/16" = 1'-0"
 PARTIAL SITE PLAN
 GRAPHIC SCALE

LAND USE

SANCTUARY	2,681 SF
BREEZEWAY	589 SF
RESTROOMS	600 SF
PRIEST RESIDENCE	1,717 SF
DINING ROOM	2,756 SF
EXISTING BUILDING	11,042 SF
NEW MULTIMEDIA CENTER (INCLUDES RES ROOM)	2,287 SF
TOTAL BUILDING AREA (EXISTING AND PROPOSED)	17,669 SF
EXISTING OVERHANG AREA	2,000 SF
PROPOSED LOT COVERAGE	18%
TOTAL IMPERVIOUS AREA	24,019 SF
EXISTING PAVING (PARKING LOT)	24,019 SF
EXISTING WALKS	1,200 SF
TOTAL	25,219 SF
LANDSCAPING	37,224 SF
NET AREA (NORTH LOT ONLY)	7,281 SF
NET AREA (SOUTH LOT ONLY)	36,729 SF
NET AREA (TOTAL LOT ONLY)	44,010 SF
NET AREA (TOTAL LOT ONLY)	18.74 ACRES
NET AREA (SOUTH LOT ONLY)	7.3 ACRES
DYKES-KW AREA	13,131 SF
PARKING REQUIRED SANCTUARY	2,024 SF
PARKING REQUIRED NEW MULTIMEDIA	2,237 SF
PARKING REQUIRED AT NORTH LOT	1,660 SF
TOTAL	62 SPACES
SEATING OCCUPANCY	
SANCTUARY	150 PEOPLE
DINING ROOM	116 PEOPLE
TOTAL	266 PERSONS





- Subject Site | 16000 SW 60th Street
- 1,500 Ft Notice Area
- Southwest Ranches Boundary

**Location Map | Sikh Society of Florida, Inc.
16000 SW 60th Street**

<u>ROLL.FOLIC</u>	<u>BCPA_TAX_ROLL.NAME_LINE_1</u>	<u>BCPA_TAX_ROLL.NAME_LINE_2</u>
50403204002	VISBAL, JAIME A & MARGARITA	
50403204014	DONOFRIO, LYNDA M	
51400513149	AZEEM, ANTHONY & RASHEEDA ALI	
50403204014	JEVREMOVIC, ALBERT LE	ALBERT JEVREMOVIC REV TR
51400513157	ROMERO, DALCY H/E	ROMERO, FAUSO
51400525009	RODRIGUEZ, LUIS JR &	LAVAN, ELLEN M
51400513148	FARAHMAND, SHABNAM	FARAHMAND, RAMIN ETAL
50403204015	ARBAS, PEDROS E & LIZETTE M	
50403204014	ALFONSO, EVELIO & VICTORIA	
50403204014	CHARLIP, DAVID &	ST LAWRENCE, SYLVIA
50403204012	RATHGEB, THEROLD JOHN JR	
50403204006	TORRON, REINALDO & RANDY R	
50403204014	AMADOR, DAVID & MORELLA	
51400522001	LEVINE, SUSAN	
50403204001	CHAPLES, W E & MARYGAY LE	WILLIAM E & M CHAPLES REV TR
51400504003	MORRINA, CARMEN	MORRINA, LUIS J
50403204015	MORRIS, R & LISA	
51400513151	POPLIN, LISA R	LISA R POPLIN REV TR
50403204015	DELPHUS, ROBERT A	
50403204016	HOBSON-GARCIA, KIRK	KOLDYS, ANNA
51400525008	PERRY, ROSS D & TANA D	
51400513158	BURCK, CLARA	
51400503001	NEW HOPE INC IN	SOUTHWEST RANCHES
51400504001	6131 SW RANCHES LLC	
50403204016	PADRON, ROBERTO & RUTH E	
51400501001	LINARES, RIDEL & MILAGROS	
51400507001	PARK, DAVID & ROSEMARY	
50403205006	BRUNO, PAULETTE M H/E	WITHROW, MICHAEL JOHN
51400513005	GONZALEZ, SANTIAGO & JESIKA	
51400501003	KNAPP, ROBERT	ROJAS-KNAPP, ISABEL
51400522002	LEVINE, SUSAN	
50403204016	ADAMS, FLOYD R & BARBARA A	
50403204006	LORENZO, RICARDO & BLANCA	
50403204016	DUDGEON, BRUCE G	LITTLE, JANETTE
50403205008	NEUNZIG, BARRY J & CINDY L	
50403205005	HUGHES, CLYDE T H/E	PUTNAM, CHRISTINE
50403214001	SHIVA VISHNU TEMPLE	OF SOUTH FLORIDA INC
50403204016	MARONAS, FRANCISCO J & IDALMIS P	
50403204015	CHARLES, THOMAS A	
51400513152	BENEDIT, VIRGILO J & JACQUELINE	
51400523001	SIKH SOCIETY OF FLORIDA INC	
50403205044	RIVERO, JORGE H JR	
50403205042	MCFARLAND, DAVID B & KATHLEEN M	
50403204014	GEHMAN, ARLAN E & LINDA S	
51400513155	ESPAGNOL, DIEGO P & ANNAMARIA C	
51400504002	MORA, JOSE & MARITZA	
51400501017	GALLEGOS, PORFIRO R & MARIA LE	GALLEGOS FAM REV LIV TR
51400513154	STRAUSS, DAVID H & LORI GALANTE	
50403204006	GERMAN, VADIM	
50403204016	GATTO, CLAUDIO & INGRID	
51400513156	ELOSEGUI, MARCOS & MAURA	
50403204001	WILLIAM E & M CHAPLES REV TR	CHAPLES, W E & MARYGAY LE TRST
50403205043	CADWALLADER, DIANE J & JOHN O	
50403205007	BURGS, RONALD & BARBARA	
51400505001	DE LA FE, GUSTAVO & ONIX	DE LA FE, MATHEW
51400501003	KIDD, MICHAEL A H/E	KIDD, TORI L
50403204016	RIVERA, KARYN F	
50403204005	DYKES, ROBERT M	DYKES, CAROL A
50403204001	DYKES FAM REV LIV TR	% CAROL DYKES
51400504004	MORRINA, LUIS J & MARIA VICTORIA	

BCPA_TAX_ROLL.ADDRESS_LINE_1	BCPA_TAX_ROLL.CITY	_FAX_ROLL.ZIP
5881 SW 160 AVE	SOUTHWEST RANCHES	FL 33331
5841 SW 163 AVE	SOUTHWEST RANCHES	FL 33331
16361 ONTARIO PL	DAVIE	FL 33331
16321 STIRLING RD	SOUTHWEST RANCHES	FL 33331
6101 SUPERIOR BLVD	DAVIE	FL 33331
15911 SEDGEWYCK CIR N	SOUTHWEST RANCHES	FL 33331
16381 ONTARIO PL	DAVIE	FL 33331
16301 STIRLING ROAD	FORT LAUDERDALE	FL 33331
16301 STIRLING ROAD	SOUTHWEST RANCHES	FL 33331
5851 SW 163 AVE	SOUTHWEST RANCHES	FL 33331
5721 SW 162 AVE	SOUTHWEST RANCHES	FL 33331
5730 SW 163 AVE	SOUTHWEST RANCHES	FL 33331
2640 SW 62 AVE	MIAMI	FL 33155
6301 SW 160 AVE	SOUTHWEST RANCHES	FL 33331
5901 SW 160 AVE	SOUTHWEST RANCHES	FL 33331
7030 W 12 LN	HIALEAH	FL 33014
5750 SW 163RD AVE	SOUTHWEST RANCHES	FL 33331
16321 ONTARIO PL	DAVIE	FL 33331
16291 STIRLING RD	SOUTHWEST RANCHES	FL 33331
16201 STIRLING ROAD	SOUTHWEST RANCHES	FL 33331
4077 HOLLY CT	WESTON	FL 33331
6081 SUPERIOR BLVD	DAVIE	FL 33331
6201 SW 160 AVE	SOUTHWEST RANCHES	FL 33331
5722 S FLAMINGO RD #176	COOPER CITY	FL 33330
5831 SW 162ND AVE	SOUTHWEST RANCHES	FL 33331
16110 STIRLING ROAD	SOUTHWEST RANCHES	FL 33331
16040 SW 60 ST	SOUTHWEST RANCHES	FL 33331
16360 STIRLING RD	SOUTHWEST RANCHES	FL 33331
16200 ONEIDA PL	DAVIE	FL 33331
16540 SW 62 ST	SOUTHWEST RANCHES	FL 33331
6301 SW 160 AVE	SOUTHWEST RANCHES	FL 33331
16231 SW 60 ST	SOUTHWEST RANCHES	FL 33331
5785 SW 160 AVE	SOUTHWEST RANCHES	FL 33331
5731 SW 162 AVE	SOUTHWEST RANCHES	FL 33331
16300 STIRLING ROAD	SOUTHWEST RANCHES	FL 33331
16400 STIRLING ROAD	SOUTHWEST RANCHES	FL 33331
5661 DYKES ROAD	SOUTHWEST RANCHES	FL 33331
5741 SW 162 AVE	SOUTHWEST RANCHES	FL 33331
5740 SW 163RD AVE	SOUTHWEST RANCHES	FL 33331
19031 NW 12 ST	PEMBROKE PINES	FL 33029
16000 STIRLING ROAD	SOUTHWEST RANCHES	FL 33331
5820 SW 164 TER	SOUTHWEST RANCHES	FL 33331
5910 SW 164TH TER	SOUTHWEST RANCHES	FL 33331
5801 SW 163RD AVE	SOUTHWEST RANCHES	FL 33331
6141 SUPERIOR BLVD	DAVIE	FL 33331
16040 SW 61ST CT	SOUTHWEST RANCHES	FL 33331
16541 SW 62 ST	SOUTHWEST RANCHES	FL 33331
6161 SUPERIOR BLVD	DAVIE	FL 33331
5901 SW 162 AVE	SOUTHWEST RANCHES	FL 33331
5841 SW 162 AVE	SOUTHWEST RANCHES	FL 33331
6121 SUPERIOR BLVD	DAVIE	FL 33331
5901 SW 160 AVE	SOUTHWEST RANCHES	FL 33331
5900 SW 164 TER	SOUTHWEST RANCHES	FL 33331
16310 STIRLING ROAD	SOUTHWEST RANCHES	FL 33331
16041 SW 61 CT	SOUTHWEST RANCHES	FL 33331
16301 SW 62 ST	SOUTHWEST RANCHES	FL 33331
5821 SW 162 AVE	SOUTHWEST RANCHES	FL 33331
5745 DYKES ROAD	SOUTHWEST RANCHES	FL 33331
241 SW 5 CT	POMPANO BEACH	FL 33060
6211 SW 161ST AVE	SOUTHWEST RANCHES	FL 33331

51400501001(DUFFY, SEAN DUFFY, SUZANNE
 50403205041(AUTORE, FRANK J JR & SILVIA D
 51400501017(KORNBLUTH, STEVEN M
 50403204015(GONZALEZ, CARL CARL GONZALEZ REV TR
 51400525007(ESFANDIARI, JAY
 50403204014(MATTHEWS, J M & VIRGINIA A
 51400513150(BROWN, BARRY J
 50403204015(MORRISON, LYNN
 51400516001(SOUTH BROWARD DRAINAGE DISTRICT
 51400525006(WALTEROS, MARIA INES
 51400513153(TONKIN, ELIZABETH A
 50403204006(OLIVERA, REINALDO J & OLIVERA, ISABEL M
 50403204006(RYAN, PATRICK J & BARBARA K
 51400501002(COTILLA, F J & BERTHA L
 51400502001(SIKH SOCIETY OF FLORIDA INC
 51400513168(ESTATES OF STIRLING LAKE HMWN % MIAMI MANAGEMENT INC.

16111 SW 61 CT	SOUTHWEST RANCHES	FL 33331
5920 SW 164 TER	SOUTHWEST RANCHES	FL 33331
16500 SW 62 ST	SOUTHWEST RANCHES	FL 33331
16261 STIRLING RD	SOUTHWEST RANCHES	FL 33331
16460 SW 61 ST	SOUTHWEST RANCHES	FL 33331
5821 SW 163RD AVE	SOUTHWEST RANCHES	FL 33331
16341 ONTARIO PL	DAVIE	FL 33331
421 NW 93 AVE	PEMBROKE PINES	FL 33024
6591 SW 160 AVE	SOUTHWEST RANCHES	FL 33331
16480 SW 61 ST	SOUTHWEST RANCHES	FL 33331
6181 SUPERIOR BLVD	DAVIE	FL 33331
5900 SW 163 AVE	SOUTHWEST RANCHES	FL 33331
5830 SW 162ND AVE	SOUTHWEST RANCHES	FL 33331
1333 NE 28 AVENUE	POMPANO BEACH	FL 33062
16000 SW 60 ST	SOUTHWEST RANCHES	FL 33331
1145 SAWGRASS CORPORATE PKW	SUNRISE	FL 33323

**This page
intentionally left blank**



Town of Southwest Ranches
13400 Griffin Road
Southwest Ranches, FL 33330-2628

(954) 434-0008 Town Hall
(954) 434-1490 Fax

Town Council
Doug McKay, *Mayor*
Gary Jablonski, *Vice Mayor*
Freddy Fisikelli, *Council Member*
Bob Hartmann, *Council Member*
Denise Schroeder, *Council Member*

Andrew D. Berns, *Town Administrator*
Keith M. Poliakoff, *JD, Town Attorney*
Russell Muniz, *Assistant Town Administrator/Town Clerk*
Martin D. Sherwood, *CPA, CGMA, CGFO, Town Financial Administrator*

COUNCIL MEMORANDUM

TO: Honorable Mayor McKay and Town Council
VIA: Andy Berns, Town Administrator
FROM: Jeff Katims
DATE: 4/25/2019
SUBJECT: Site Plan Re-approval - Terra Ranches

Recommendation

Staff recommends approval with conditions.

Unanimous Vote of the Town Council Required?

Yes

Strategic Priorities

A. Sound Governance

Background

The Council approved the Terra Ranches site plan and plat in 2013 for 11 single-family lots and a lake. The site plan expired in May 2014 upon failure to apply for building permits, and the petitioner is requesting re-approval of the plan. The site plan remains unchanged, except for minor, technical revisions that Staff requested.

Fiscal Impact/Analysis

N/A

Staff Contact:

Jeff Katims, AICP, CNU-A

ATTACHMENTS:

Description	Upload Date	Type
Terra Ranches Site Plan Reso - TA Approved	4/18/2019	Resolution
Staff Report	4/4/2019	Backup Material
Site Plan	4/4/2019	Exhibit
Engineering Plans	4/4/2019	Exhibit
Survey	4/4/2019	Exhibit
Landscape Plan Sheet 1	4/4/2019	Exhibit
Landscape Plan Sheet 2	4/4/2019	Exhibit
Landscaping Plan Sheet 3	4/4/2019	Exhibit
Landscaping Plan Sheet 4	4/4/2019	Exhibit
Irrigation Plan Sheet 1	4/4/2019	Exhibit
Irrigation Plan Sheet 2	4/4/2019	Exhibit
Mail Notice List	4/4/2019	Backup Material

RESOLUTION NO. 2019- XXX

A RESOLUTION AND FINAL ORDER OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, RE-APPROVING THE EXPIRED TERRA RANCHES SITE PLAN; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE THEREFOR.

WHEREAS, Terra Ranches Investments, LLC ("Owner") is the owner of real property described as Terra Ranches, according to the plat thereof recorded in Plat Book 181, Page 49 of the Public Records of Broward County, Florida ("Property"); and

WHEREAS, the Town Council of the Town of Southwest Ranches, Florida ("Town Council") approved Site Plan Application No. SP-52-13 on May 23, 2013 for eleven single-family dwelling lots on the Property; and

WHEREAS, the SP-52-13 approval expired on May 23, 2014 pursuant to Sec. 120-060 of the Unified Land Development Regulations ("ULDRs"); and

WHEREAS, Owner has applied for re-approval of the site plan; and

WHEREAS, the Broward County Findings of Adequacy for the Terra Ranches Plat remain valid through April 28, 2023; and

WHEREAS, the Town Council, having considered Owner's request, submitted evidence, criteria set forth in the ULDRs, analysis and recommendations of the Town Staff, and comments from other interested parties, upon motions duly made and acted upon, approved the site plan modification subject to the conditions set forth herein.

NOW, THEREFORE BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA:

Section 1. Recitals. That the foregoing recital clauses are hereby ratified and confirmed as being true and correct and are hereby incorporated and made a specific part of this Resolution.

Section 2. Site Plan Approval. That, upon reviewing the testimony and the evidence submitted at a duly noticed public hearing held April 25, 2019 the Town Council approves Application No. SP-75-19, subject to the following stipulated conditions:

- (A) Homeowners association ("HOA") documents shall not restrict the keeping of horses or other animals except as restricted by the ULDC.
- (B) HOA documents shall require that HOA maintain the bridal/multi-purpose trail within the Stirling Road right-of-way.
- (C) Developer shall provide final homeowners association documents to the Town Attorney for review and approval prior to issuance of the first building permit.
- (D) Construction of any models with associated signage and parking shall be subject to Town Council approval.
- (E) Any construction trailer shall be subject to Town Council approval.

Section 3. Effectuation. The Mayor, Town Administrator, and Town Attorney are each authorized to execute any and all documents necessary to effectuate the intent of this Resolution.

Section 4. Effective Date. This Resolution shall become effective immediately upon adoption.

PASSED AND ADOPTED by the Town Council of the Town of Southwest

Ranches, Florida, this 25th day of April, 2019 on a motion by _____

and seconded by _____.

McKay	_____	Ayes	_____
Jablonski	_____	Nays	_____
Fisikelli	_____	Absent	_____
Hartman	_____	Abstaining	_____
Schroeder	_____		

Doug McKay, Mayor

Russell Muñiz, Assistant Town Administrator/Town Clerk

Approved as to Form and Correctness:

Keith M. Poliakoff, Town Attorney

**TOWN OF SOUTHWEST RANCHES
TOWN COUNCIL AGENDA REPORT**

April 25, 2019

- SUBJECT:** Site Plan application SP-75-19
- ADDRESS:** 6000-6100 block of SW 172nd Avenue
- LOCATION:** Generally located on the east side of SW 172nd Avenue, immediately south of unimproved Stirling Road
- PETITIONER:** Cynthia Pasch, Greenspoon Marder LLP
- OWNER:** Terra Ranches Investments, LLC
- LAND USE PLAN DESIGNATION:** Rural Estates
- ZONING:** RE, Rural Estates
- PUBLIC NOTICE:** Newspaper advertisement, sign posting, mail notice
- EXHIBITS:** Site plan, survey, aerial photograph, notification map and mailing label list, DRC technical memorandum.

BACKGROUND

The subject property ("Property") comprises 17.6 acres of vacant land with 650 feet of frontage on SW 172nd Avenue and 1,305 feet of frontage on unimproved Stirling Road. The Council approved the Terra Ranches site plan and plat in 2013 for 11 single-family lots and a lake. The site plan expired in May 2014 upon failure to apply for building permits, and the petitioner is requesting re-approval of the plan. The plat was recorded and remains in effect, as do the findings of adequacy (compliance with concurrency requirements).

The site plan remains unchanged, except for minor, technical revisions that Staff requested. It is noted that most of the conditions attached to the approval of the original site plan have been satisfied. The application is accompanied by a request that the Town release the declaration of restrictive covenants that the Town required as a condition of the 2013 site plan approval. The covenants served as notice to prospective purchasers that the property was adjacent to an active private airstrip.

Subsequently, a judge ruled that the airstrip easement was invalid, and the airstrip was permanently closed. A resolution releasing the restrictive covenants is attached.

ANALYSIS

The Property and adjacent parcels to the north, south and east are designated Rural Estates on the land use plan map and zoning map, which allows one (1) single-family dwelling unit per acre. Immediately west of SW 172nd Avenue, the zoning and land use designations are Rural Ranch, which requires a minimum lot size of two (2) net acres or two and one-half (2.5) gross acres.

The proposed residential subdivision has 11 lots ranging in size from approximately 43,580 to 49,377 square feet (1.0 to 1.133 acres). All lots exceed the minimum required width of 125 feet and meet or exceed the minimum lot size requirement of 43,560 square feet for the Rural Estate District. Access to the lots will be from a new cul-de-sac street (SW 61st Street) that will extend east from SW 172nd Avenue. On both corners of the entrance to Terra Ranches, there will be a landscaped entry feature with 15 square feet of subdivision identification signage on a stacked-stone and stucco wall 29.3 feet in length and 6.5 feet in height. The proposed entry feature with signage complies with code requirements.

Landscape and irrigation plans have been approved by the Town's Landscape Inspector. Removal of all protected species of trees will be mitigated as shown on the approved Landscape Plan and requires tree removal/relocation permits from the Town. The landscape plan includes a row of live oaks along each side of SW 61st Street and around its cul-de-sac. The landscape island within the cul-de-sac features a Royal Poinciana tree surrounded by shrubs and groundcover. One row each of Mahogany and Sweet Bay Magnolia trees will be planted along SW 172nd Avenue, accompanied by a Green Buttonwood hedge. The Property contains areas of jurisdictional wetlands that will be mitigated in a 0.9-acre portion of the 4.7-acre lake (included in the plat as Tract "A"). The site was cleared in 2016 and will need partial re-clearing of growth that occurred in the subsequent three years.

The homeowner's association will be responsible for the maintenance of all common areas, including SW 61st Street. Following the Town's Master Trail Map, a 15-foot wide bridle path to the north of the lake, and within the right-of-way dedication for unimproved Stirling Road, will be de-mucked and stabilized by the developer.

There are 10-foot drainage easements between all lots, except lots 4 and 5, which contain 24-inch pipes to conduct stormwater into the lake. There will be two dry hydrants and two wells as approved by the Davie Fire Marshal. There will be no street lights, curbing or sidewalks.

RECOMMENDATION

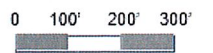
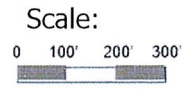
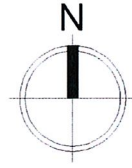
Staff finds that Site Plan Application No. SP-75-19 complies with the applicable provisions of the Unified Land Development Regulations and recommends approval subject to the following conditions:

- a. Homeowners association documents shall not restrict the keeping of horses or other animals except as restricted by the ULDC.
- b. Homeowner's association documents shall require that the homeowner's association maintain the bridal/multi-purpose trail within the Stirling Road right-of-way.
- c. Developer shall provide final homeowners association documents to the Town Attorney for review and approval prior to issuance of the first building permit.
- d. Construction of any models with associated signage and parking shall be subject to Town Council approval.
- e. Any construction trailer shall be subject to Town Council approval.

**This page
intentionally left blank**

SP-75-19 AERIAL PHOTOGRAPH LOCATION MAP



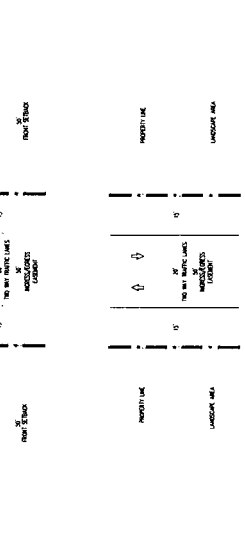
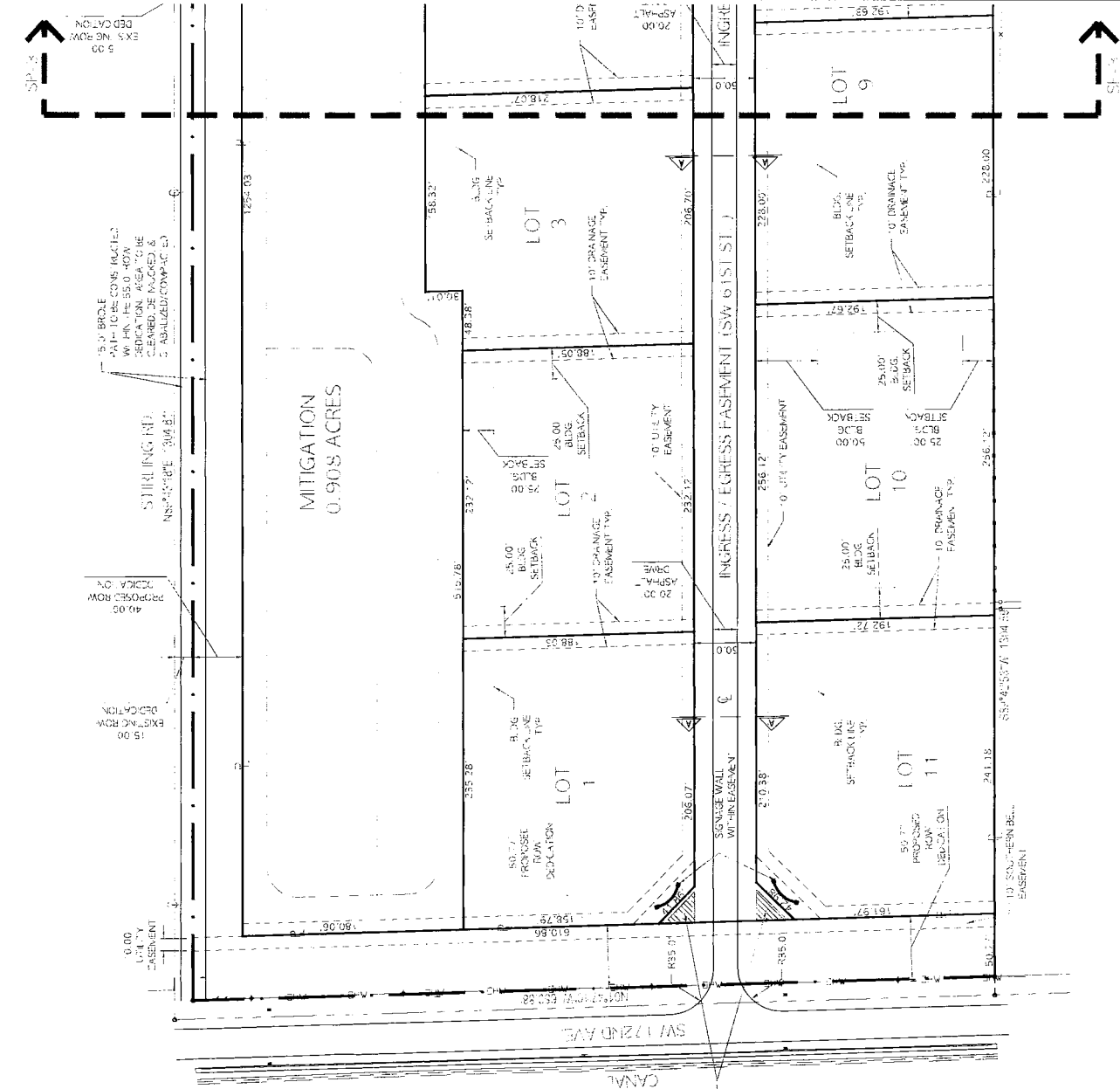


PASCUAL PEREZ KILODIAN & ASSOCIATES
 ARCHITECTS PLANNERS
 LICENSE NO. 14,600
 10000 SW 17th Ave, Suite 100
 Miami, FL 33150
 TEL: 305-555-1234
 FAX: 305-555-1235
 WWW.PKASOCIATES.COM

BY
TERRA RANCHES
 TERRA WORLD INVESTMENTS, LLC
 SOUTHWEST RANCHES (BROWARD COUNTY), FLORIDA

DATE: 10/15/18
 SCALE: AS SHOWN
 DRAWN: JAB
 CHECKED: JAB
 PROJECT: SP-2

SP-2
 SHEET NO. 1



25 X 25
 SITE DISTANCE
 TEMPLATE

LOT DATA	Sq Ft	ACRES
LOT 1	43,996	1.005
LOT 2	43,631	1.001
LOT 3	43,606	1.000
LOT 4	43,582	1.000
LOT 5	43,582	1.000
LOT 6	47,780	1.085
LOT 7	48,161	1.103
LOT 8	43,900	1.007
LOT 9	43,910	1.008
LOT 10	49,317	1.133
LOT 11	45,597	1.078

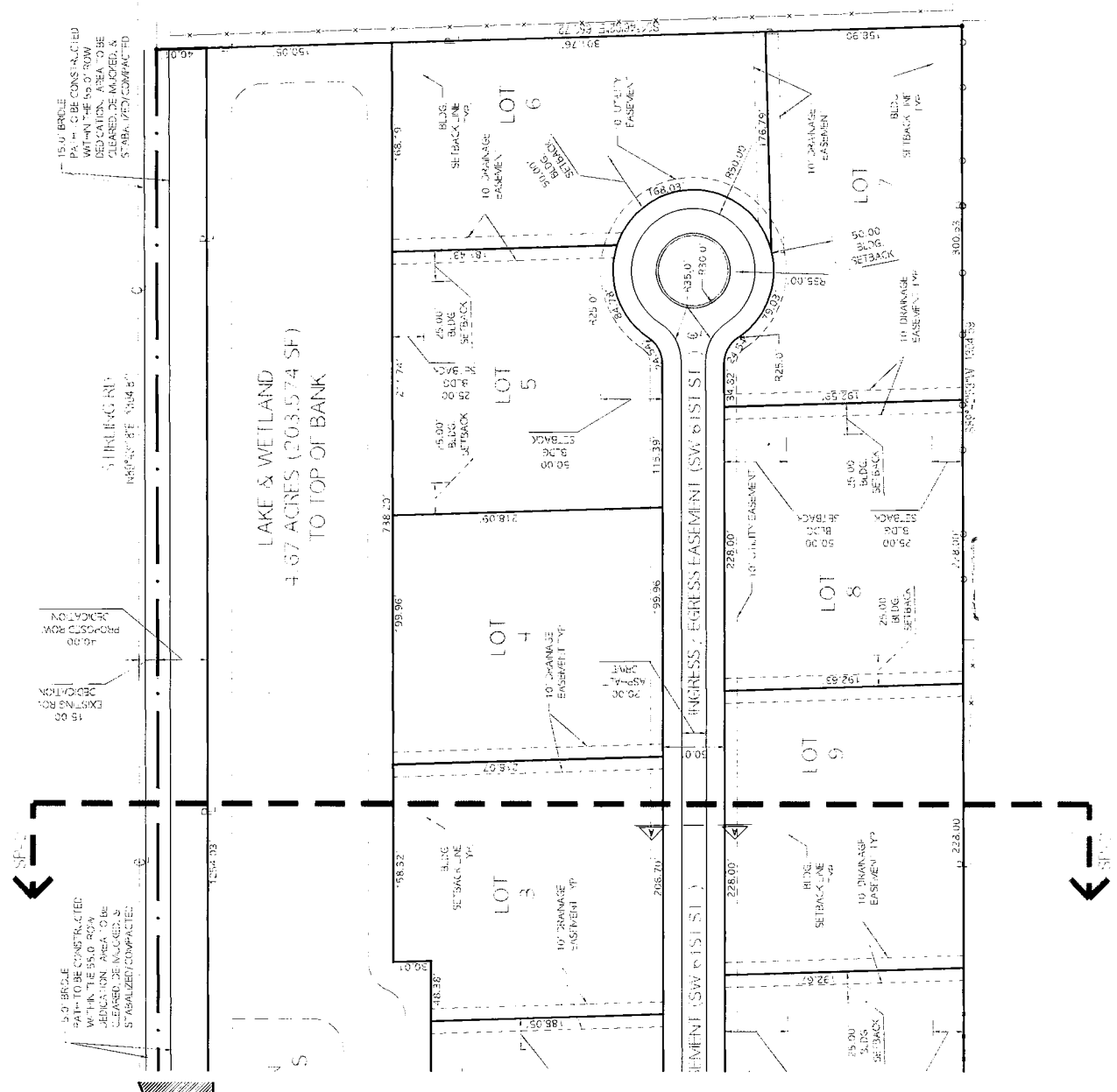


PASCUAL PEREZ KILIDJIAN & ASSOCIATES ARCHITECTS-PANORAMIC DESIGN & CONSTRUCTION
 1500 N.W. 10TH AVENUE, SUITE 1000
 MIAMI, FLORIDA 33136
 PHONE: (305) 576-8800
 FAX: (305) 576-8801
 WWW.PKAD.COM

TERRA RANCHES
 BY
TERRA WORLD INVESTMENTS, LLC
 SOUTHWEST RANCHES (BROWARD COUNTY), FLORIDA

DATE: 11/11/10
SCALE: AS SHOWN
DRAWN BY: JPK/MLT
CHECKED BY: JPK/MLT

SP-3
 SHEET NO.



LOT DATA	Sq. Ft.	ACRES
LOT 1	43,796	1.005
LOT 2	43,631	1.001
LOT 3	43,606	1.000
LOT 4	43,552	1.000
LOT 5	43,582	1.000
LOT 6	47,260	1.085
LOT 7	49,161	1.128
LOT 8	43,900	1.007
LOT 9	43,910	1.008
LOT 10	49,377	1.133
LOT 11	45,997	1.076

PASCUAL PEREZ KILODIJIAN & ASSOCIATES ARCHITECTS - PLANNERS
 LICENSE # 24, 2002122
 10000 W. BAYVIEW AVENUE, SUITE 1000
 MIAMI, FLORIDA 33147
 PHONE: (305) 576-8888
 FAX: (305) 576-8889
 WWW.PKAD.COM

OWNER
 TERRA RANCHES
 10000 W. BAYVIEW AVENUE, SUITE 1000
 MIAMI, FLORIDA 33147
 PHONE: (305) 576-8888
 FAX: (305) 576-8889
 WWW.TERRARANCHES.COM

TERRA RANCHES
 BY
TERRA WORLD INVESTMENTS, LLC
 SOUTHWEST RANCHES (BROWARD COUNTY), FLORIDA

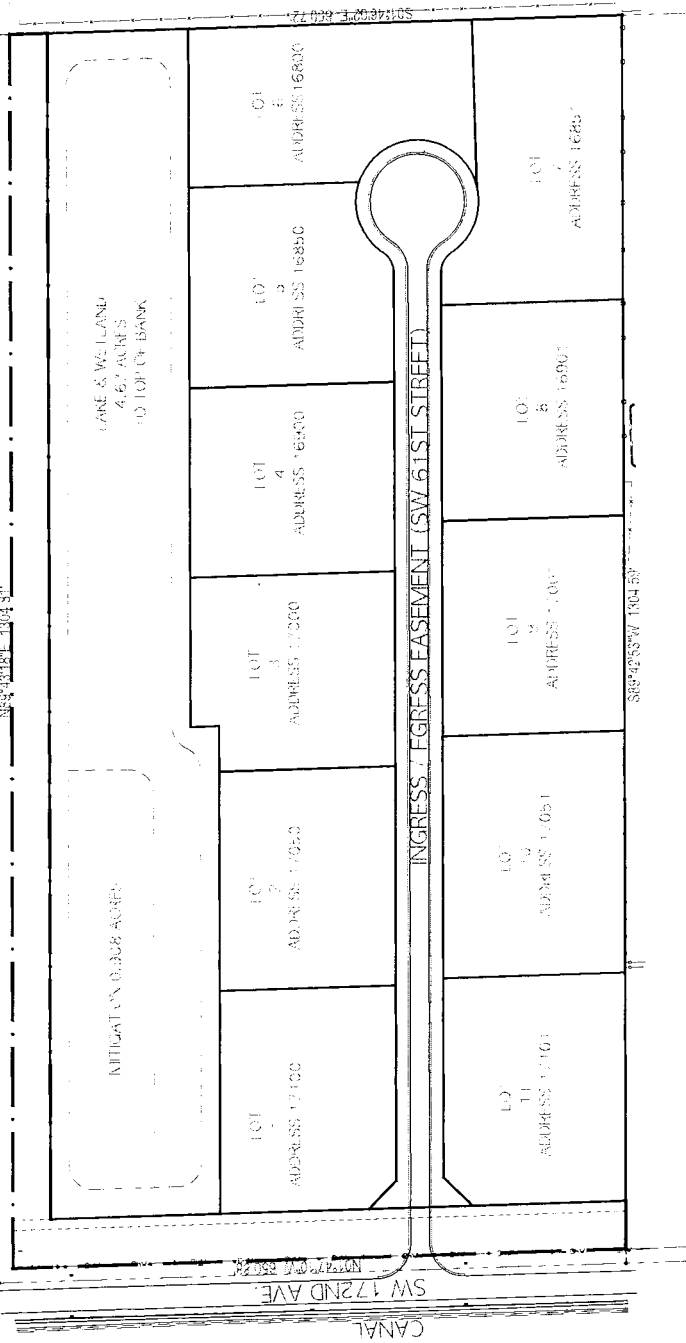
DATE
 11/11/2011

SITE PLAN

ADDRESSING PLAN
 DATE: 11/11/2011
 SCALE: AS SHOWN
 SHEET NO. 04
 OF 04

SP-4
 SHEET NO.

STIRLING RD.
 NEW RITE 1004 ST



TERRA RANCHES

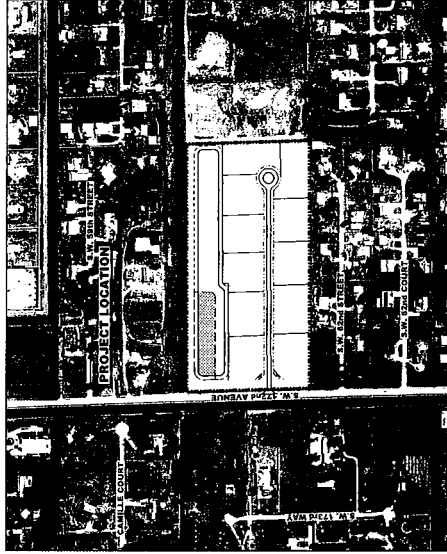
TOWN OF SOUTHWEST RANCHES, BROWARD COUNTY, FLORIDA

TERRA RANCHES INVESTMENTS, LLC.

DATE: 11/20/15
 SHEET NUMBER: CS-1

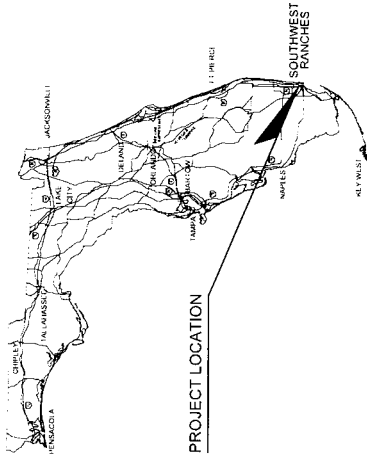
INDEX OF CONSTRUCTION PLANS

SHEET NO.	SHEET DESCRIPTION
CS-1	COVER SHEET
PD-1	PAVING AND DRAINAGE PLAN
PD-2	PAVING AND DRAINAGE PLAN
PD-3	PAVING AND DRAINAGE DETAILS
PD-4	PAVING AND DRAINAGE DETAILS
PD-5	PAVING AND DRAINAGE DETAILS
PD-6	SOUTH BROWARD DRAINAGE DISTRICT DETAILS
PM-1	SIGNING AND PAVEMENT MARKING PLAN
SWPPP-1	POLLUTION PREVENTION PLAN
SWPPP-2	N.P.D.E.S. NOTES
SWPPP-3	EROSION CONTROL DETAILS



LOCATION SKETCH

SCALE: 1" = 300'
 SECTION 5 / TOWNSHIP 51 S / RANGE 40 E



PROJECT LOCATION

LEGAL DESCRIPTION:

TRACTS 31 AND 32, 2ND 2ND CITRA 3, TOWNSHIP 51 SOUTH, RANGE 40 EAST, FLORIDA THAT LANDS COMPANY'S SUBDIVISION NO. 1, ACCORDING TO THE PLAT THEREOF AND ACCORDING TO THE RECORDS OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SUBDIVISION SITUATE IN THE TOWN OF SOUTHWEST RANCHES, BROWARD COUNTY, FLORIDA.

GENERAL NOTES:

- ALL UTILITIES SHOWN HEREON ARE RELATIVE TO THE NATIONAL GRID IN FLORIDA THAT LANDS COMPANY'S SUBDIVISION NO. 1, ACCORDING TO THE PLAT THEREOF AND ACCORDING TO THE RECORDS OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- THE PROJECT IS LOCATED IN THE TOWN OF SOUTHWEST RANCHES, BROWARD COUNTY, FLORIDA.
- THE PROJECT IS LOCATED IN THE TOWN OF SOUTHWEST RANCHES, BROWARD COUNTY, FLORIDA.



HSQ GROUP, INC.
 Engineers · Planners · Surveyors
 1489 West Palmetto Park Road, Suite 340
 Boca Raton, Florida 33486 · 561.392.0221
 CA28258 · LB7924

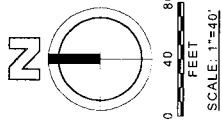
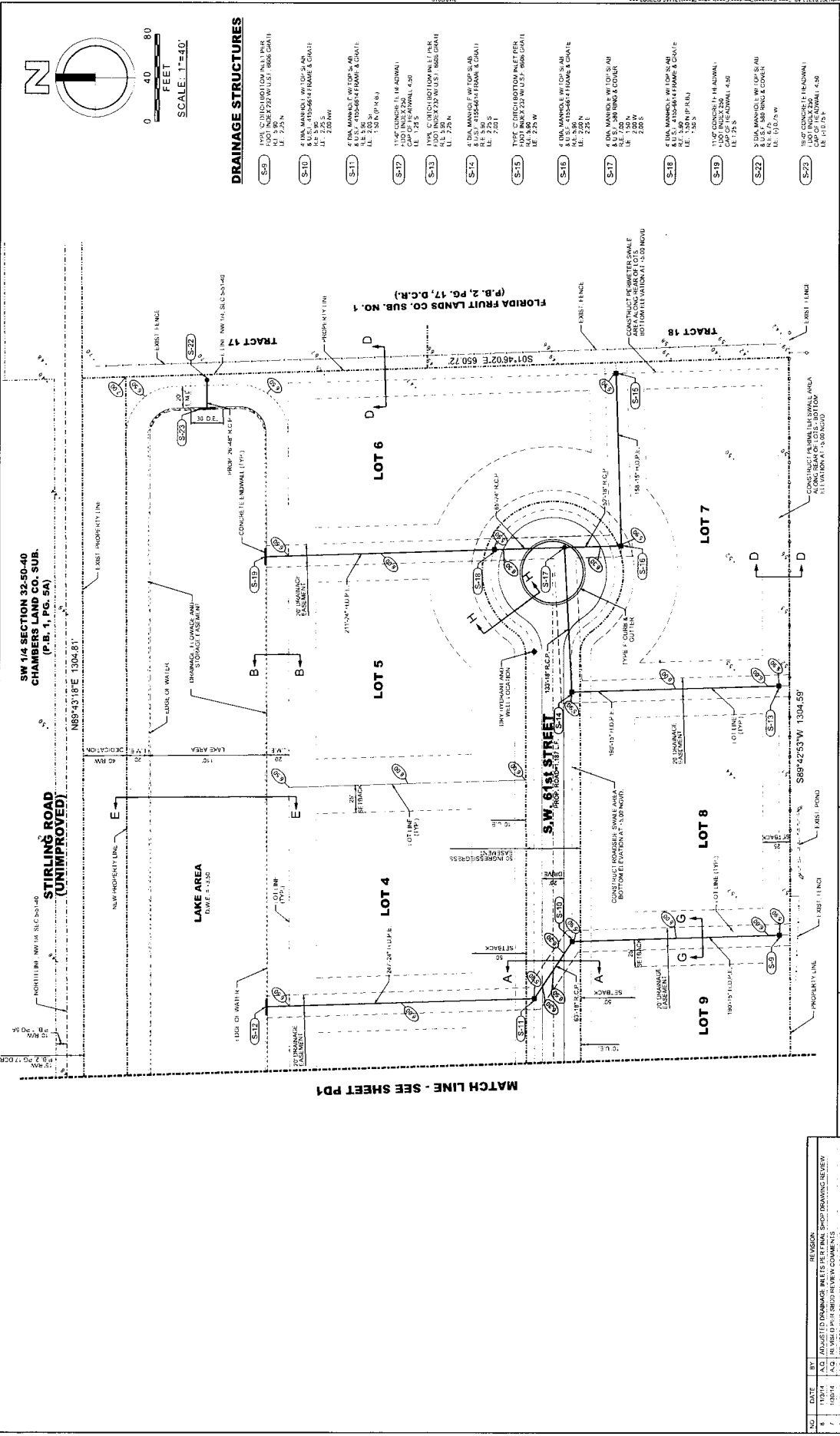
ENGINEERS' CERTIFICATION
 I, H. S. HARRIS, REGISTERED PROFESSIONAL ENGINEER, NO. 12345, IN THE STATE OF FLORIDA, HEREBY CERTIFY THAT I AM THE DESIGNER OF THE PLANS AND SPECIFICATIONS HEREON AND THAT I AM A MEMBER OF THE FLORIDA SOCIETY OF PROFESSIONAL ENGINEERS.

Scale: 1" = 300'
 Date: 11/20/15
 Approved by: [Signature]
 Registered Professional Engineer - Number: 12345
 State of Florida.

PAVING AND DRAINAGE PLANS



ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM THE FLORIDA SOCIETY OF PROFESSIONAL ENGINEERS.



DRAINAGE STRUCTURES

- S-1 15\"/>
- S-2 4\"/>
- S-3 4\"/>
- S-4 4\"/>
- S-5 4\"/>
- S-6 4\"/>
- S-7 4\"/>
- S-8 4\"/>
- S-9 4\"/>
- S-10 4\"/>
- S-11 4\"/>
- S-12 11\"/>
- S-13 11\"/>
- S-14 11\"/>
- S-15 11\"/>
- S-16 11\"/>
- S-17 11\"/>
- S-18 11\"/>
- S-19 11\"/>
- S-20 11\"/>
- S-21 11\"/>
- S-22 11\"/>

TERRA RANCHES
PAVING AND DRAINAGE PLAN

PROJECT NUMBER
1211-59

SHEET NUMBER
PD-2

HSG GROUP, INC.
Engineers - Planners - Surveyors
1800 S. W. 10th Street, Suite 100
Boca Raton, Florida 33432-3221
Tel: 561-993-8800
Fax: 561-993-8801
www.hsggroup.com

Approved by: ANTONIO QUILICO Date: 2/28/2018

Designed by: A.G. Date: 10/12

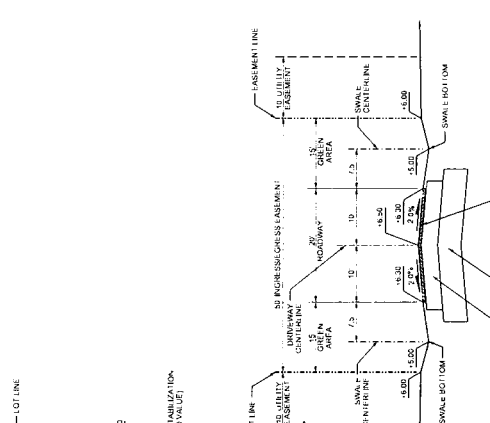
Drawn by: J.P. Date: 10/12

Checked by: N.S. Date: 10/12

NO.	DATE	BY	REVISION
8	11/20/18	A.G.	ADJUSTED DRAINAGE DATES PER FINAL SPOD DRAWING REVIEW
7	11/20/18	A.G.	REVISION PER SPOD REVIEW COMMENTS
6	11/20/18	A.G.	REVISION PER SPOD REVIEW COMMENTS
5	11/20/18	A.G.	REVISION PER SPOD REVIEW COMMENTS
4	11/20/18	A.G.	REVISION PER SPOD REVIEW COMMENTS
3	11/20/18	A.G.	REVISION PER SPOD REVIEW COMMENTS
2	11/20/18	A.G.	REVISION PER SPOD REVIEW COMMENTS
1	11/20/18	A.G.	REVISION PER SPOD REVIEW COMMENTS

PAVEMENT NOTES

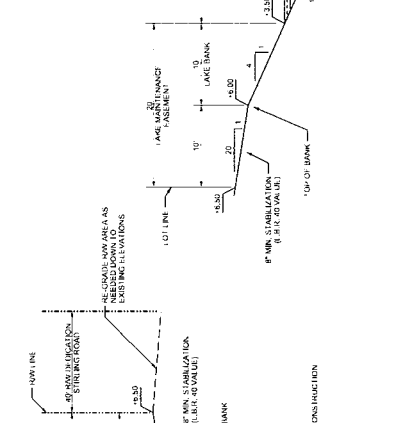
1. THE PAVEMENT SURFACE SHALL BE TYPE 5 ASPHALTIC CONCRETE. THE SURFACE SHALL BE 1.75 INCHES THICK, APPLY IN TWO 0.75 INCHES THICK LAYERS. THE PAVEMENT SHALL BE APPLIED TO THE ENTIRE WIDTH OF THE PAVEMENT COURSE.
2. THE UNDERLAYER SHALL BE 1.75 INCHES THICK. THE UNDERLAYER SHALL BE TYPE 5 ASPHALTIC CONCRETE. THE UNDERLAYER SHALL BE APPLIED TO THE ENTIRE WIDTH OF THE PAVEMENT COURSE. THE UNDERLAYER SHALL BE APPLIED TO THE ENTIRE WIDTH OF THE PAVEMENT COURSE.
3. THE SURGRADE SHALL BE 12 INCHES THICK. THE SURGRADE MATERIAL SHALL BE TYPE 5 ASPHALTIC CONCRETE. THE SURGRADE SHALL BE APPLIED TO THE ENTIRE WIDTH OF THE PAVEMENT COURSE.
4. THE UNDERLAYER AND SURGRADE COURSES SHALL NOT BE CONSTRUCTED UNTIL THE PAVEMENT COURSE HAS BEEN COMPLETED. THE UNDERLAYER AND SURGRADE SHALL BE CONSTRUCTED AFTER THE PAVEMENT COURSE HAS BEEN COMPLETED.
5. THE PAVEMENT COURSE SHALL BE CONSTRUCTED AFTER THE UNDERLAYER AND SURGRADE COURSES HAVE BEEN COMPLETED. THE PAVEMENT COURSE SHALL BE CONSTRUCTED AFTER THE UNDERLAYER AND SURGRADE COURSES HAVE BEEN COMPLETED.
6. THE PAVEMENT COURSE SHALL BE CONSTRUCTED AFTER THE UNDERLAYER AND SURGRADE COURSES HAVE BEEN COMPLETED. THE PAVEMENT COURSE SHALL BE CONSTRUCTED AFTER THE UNDERLAYER AND SURGRADE COURSES HAVE BEEN COMPLETED.
7. THE PAVEMENT COURSE SHALL BE CONSTRUCTED AFTER THE UNDERLAYER AND SURGRADE COURSES HAVE BEEN COMPLETED. THE PAVEMENT COURSE SHALL BE CONSTRUCTED AFTER THE UNDERLAYER AND SURGRADE COURSES HAVE BEEN COMPLETED.
8. THE PAVEMENT COURSE SHALL BE CONSTRUCTED AFTER THE UNDERLAYER AND SURGRADE COURSES HAVE BEEN COMPLETED. THE PAVEMENT COURSE SHALL BE CONSTRUCTED AFTER THE UNDERLAYER AND SURGRADE COURSES HAVE BEEN COMPLETED.
9. THE PAVEMENT COURSE SHALL BE CONSTRUCTED AFTER THE UNDERLAYER AND SURGRADE COURSES HAVE BEEN COMPLETED. THE PAVEMENT COURSE SHALL BE CONSTRUCTED AFTER THE UNDERLAYER AND SURGRADE COURSES HAVE BEEN COMPLETED.
10. THE PAVEMENT COURSE SHALL BE CONSTRUCTED AFTER THE UNDERLAYER AND SURGRADE COURSES HAVE BEEN COMPLETED. THE PAVEMENT COURSE SHALL BE CONSTRUCTED AFTER THE UNDERLAYER AND SURGRADE COURSES HAVE BEEN COMPLETED.



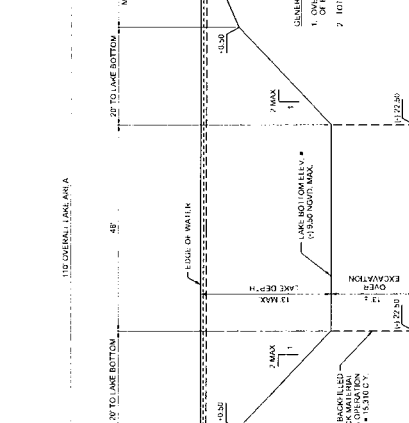
SECTION A-A
N.T.S.

SECTION C-C @ WETLAND AREA
N.T.S.

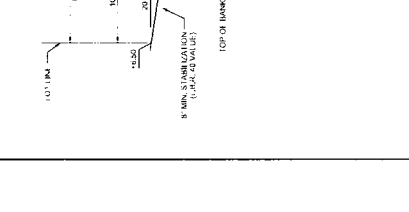
- GENERAL NOTE:
1. OVER EXCAVATION MATERIAL TO BE USED IN SITE FOR CONSTRUCTION
 2. TOTAL EXCAVATION OPERATION VOLUME = 86,395 C.Y.



SECTION D-D
N.T.S.



SECTION B-B
N.T.S.



SECTION E-E
N.T.S.

PROJECT NUMBER	1211-59
SHEET NUMBER	PD-3

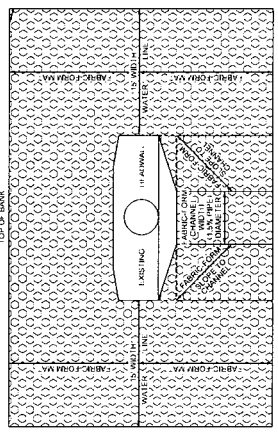
TERRA RANCHES
PAVING AND DRAINAGE DETAILS

HSQ GROUP, INC.
Engineers - Planners - Surveyors
Boise, Idaho 83726
208.333.8227
208.333.8228

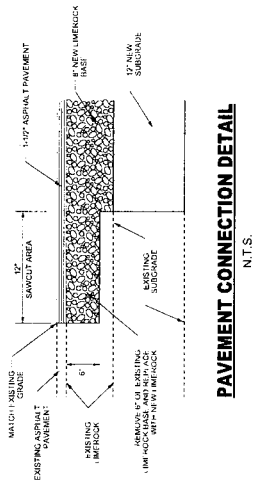
DESIGNED BY	AD	DATE	12/12
CHECKED BY	N.S.	DATE	12/12
APPROVED BY	ANTONIO GARCIA	DATE	2/18/22
REGISTERED ENGINEER NUMBER	39471	STATE OF IDAHO	

NO.	DATE	BY	REVISIONS
1	10/13	AD	REVISED PER ST. PAUL & BROWARD COUNTY REVIEW COMMENTS
2	08/13	AD	REVISED PER ST. PAUL & BROWARD COUNTY REVIEW COMMENTS
3	08/13	AD	REVISED PER ST. PAUL & BROWARD COUNTY REVIEW COMMENTS
4	08/13	AD	REVISED PER ST. PAUL & BROWARD COUNTY REVIEW COMMENTS
5	08/13	AD	REVISED PER ST. PAUL & BROWARD COUNTY REVIEW COMMENTS
6	08/13	AD	REVISED PER ST. PAUL & BROWARD COUNTY REVIEW COMMENTS
7	08/13	AD	REVISED PER ST. PAUL & BROWARD COUNTY REVIEW COMMENTS
8	08/13	AD	REVISED PER ST. PAUL & BROWARD COUNTY REVIEW COMMENTS
9	08/13	AD	REVISED PER ST. PAUL & BROWARD COUNTY REVIEW COMMENTS
10	08/13	AD	REVISED PER ST. PAUL & BROWARD COUNTY REVIEW COMMENTS

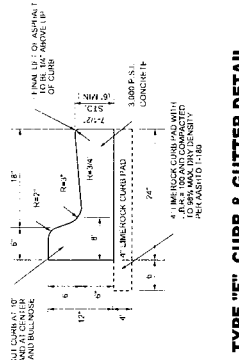
NO.	DATE	BY	REVISIONS
1	10/13	AD	REVISED PER ST. PAUL & BROWARD COUNTY REVIEW COMMENTS
2	08/13	AD	REVISED PER ST. PAUL & BROWARD COUNTY REVIEW COMMENTS
3	08/13	AD	REVISED PER ST. PAUL & BROWARD COUNTY REVIEW COMMENTS
4	08/13	AD	REVISED PER ST. PAUL & BROWARD COUNTY REVIEW COMMENTS
5	08/13	AD	REVISED PER ST. PAUL & BROWARD COUNTY REVIEW COMMENTS
6	08/13	AD	REVISED PER ST. PAUL & BROWARD COUNTY REVIEW COMMENTS
7	08/13	AD	REVISED PER ST. PAUL & BROWARD COUNTY REVIEW COMMENTS
8	08/13	AD	REVISED PER ST. PAUL & BROWARD COUNTY REVIEW COMMENTS
9	08/13	AD	REVISED PER ST. PAUL & BROWARD COUNTY REVIEW COMMENTS
10	08/13	AD	REVISED PER ST. PAUL & BROWARD COUNTY REVIEW COMMENTS



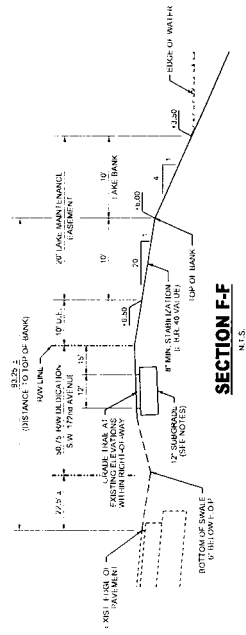
TYPICAL FABRIC FORM HEADWALL WRAP DETAIL
N.T.S.



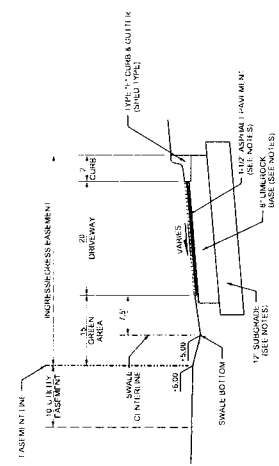
PAVEMENT CONNECTION DETAIL
N.T.S.



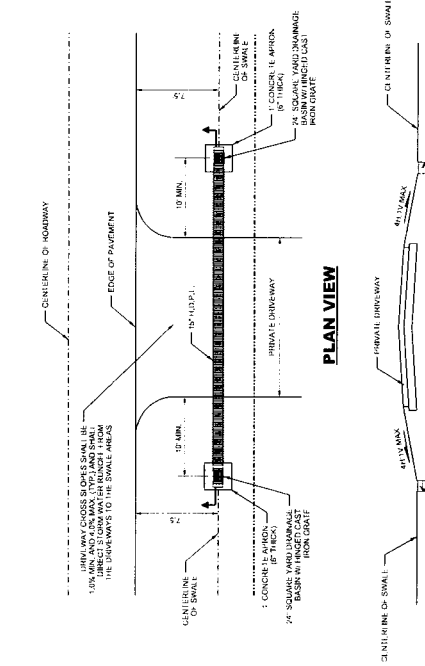
TYPE 'F' CURB & GUTTER DETAIL
N.T.S. - PER F.O.T. INDEX 300



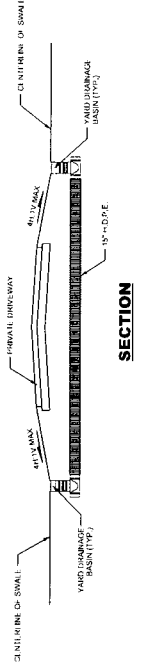
SECTION F-F
N.T.S.



SECTION H-H
N.T.S.

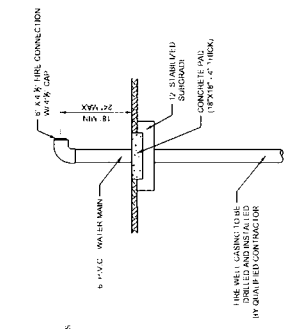


PLAN VIEW



SECTION

TYPICAL DRIVEWAY UNDER-DRAIN DETAIL
N.T.S.



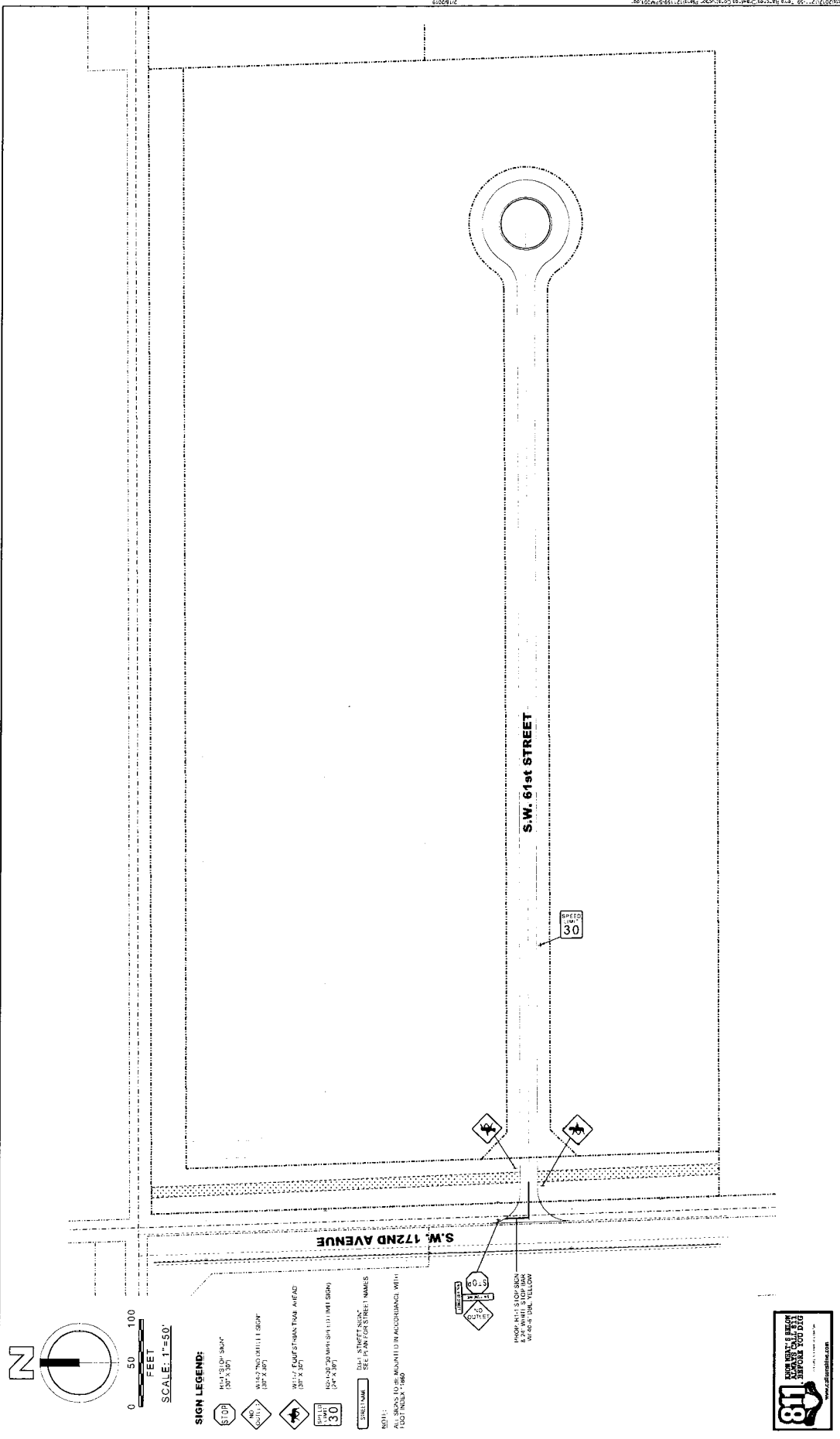
DRY HYDRANT & WELL DETAIL
N.T.S.

DRY HYDRANT & WELL NOTES

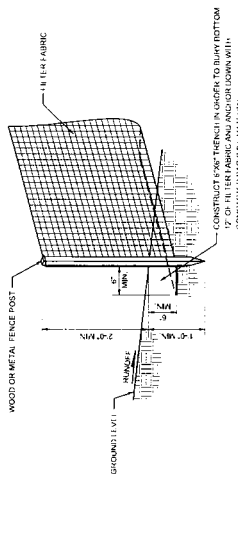
1. DRY HYDRANTS AND WELLS SHALL BE PROPERLY INSTALLED TO BE FREE OF ALL GRAVEL AND SAND.
2. BEFORE ACCEPTANCE OF DRY HYDRANT & WELL ASSEMBLIES, AS MEETING SPECIFICATIONS AND REQUIREMENTS, THEY SHALL BE TESTED BY THE BROWNS COUNTY FIRE DEPARTMENT.
3. STABILIZED SUBGRADE SHALL BE UNDERLAIN BY 18\"/>

NO.	DATE	BY	REVISION
4	10/26/16	A.C.	REVISED PER SHED REVIEW COMMENTS
3	10/26/16	A.C.	REVISED PER SHED REVIEW COMMENTS
2	10/17/16	A.C.	REVISED PER SHED REVIEW COMMENTS
1	08/25/16	A.C.	REVISED PER SHED REVIEW COMMENTS

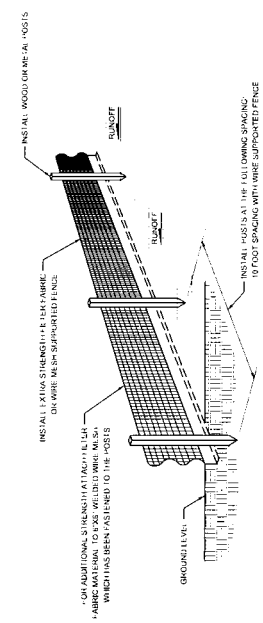
Approved By: ANI DAVIS/ALDU Date: 2/1/2018 Checked By: N.S. Date: 1/13	HSQ GROUP, INC. Engineers, Planners, Surveyors 1100 N. Main Street Boca Raton, Florida 33486-5633, 561.392.0221 2282387 - 1/8/15/24	TERRA RANCHES PAVING AND DRAINAGE DETAILS PROJECT NUMBER: 1211-59 SHEET NUMBER: PD-4
---	--	--



PROJECT NUMBER 1211-59		SHEET NUMBER P/M-1	
TERRA RANCHES SIGNING AND PAVEMENT MARKING PLAN			
HSQ GROUP, INC. Engineers - Planners - Surveyors 14000 Parkway Drive, Suite 300 Boca Raton, Florida 33486 • 561.992.0221 C26268 - LB1924			
NO.	DATE	BY	REVISION
1	10/17/13	JH	PERMITS FOR PAVEMENT MARKING COMMENTS
Approved by:	AN UNKUNJALEVIC	Date:	2/19/2013
Designed by:	AJD	Date:	P/J
Drawn by:	KW	Date:	P/J
Checked by:	N.S.	Date:	P/J
Regulated Engineer Number: 9497 State of Florida			

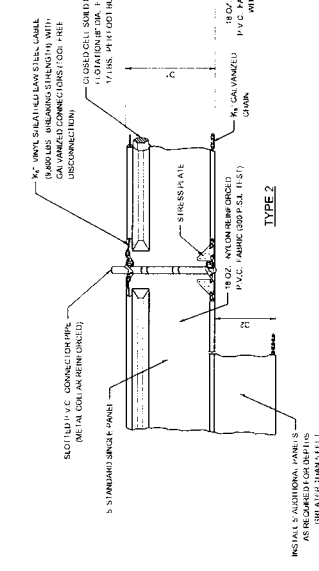


POST & FILTER FABRIC INSTALLATION DETAIL
N.T.S.

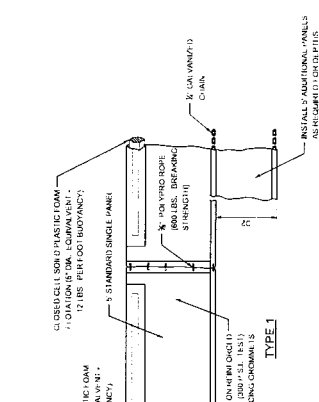


SILT FENCE & POST INSTALLATION NOTES
N.T.S.

1. THE HEIGHT OF THE SILT FENCE SHALL BE INSTALLED AT A MINIMUM OF 42 INCHES BUT SHALL NOT EXCEED 36 INCHES.
2. THE SILT FENCE MATERIAL SHALL BE SUPPORTED BY A MINIMUM OF 2 INCHES IN ORDER TO BE ABLE TO CARRY THE ENTIRE REQUIRED LENGTH THROUGH JOINTS AND WOOD JOINTS.
3. WHEN STANDARD STRENGTH SILT FENCE FABRIC MATERIAL IS USED, A WELDED WIRE MESH SUPPORT SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE FENCE POSTS THROUGHOUT THE ENTIRE LENGTH OF THE FENCE. THE WIRE SHALL EXTEND TO THE TRINCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
4. THE SILT FENCE MATERIAL SHALL BE LITTERS WILL OR WELDED TO THE INCH POSTS AND 12 INCHES OF THE FABRIC SHALL BE EXTENDED AT THE BOTTOM INTO THE TRINCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE GROUND SURFACE.
5. A 3\"/>



TYPE 1

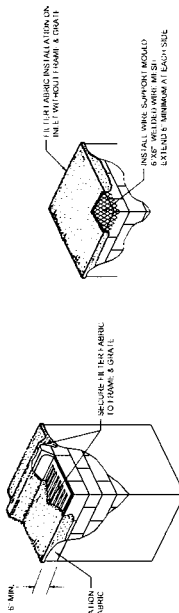


TYPE 2

FLOATING TURBIDITY BARRIER INSTALLATION DETAIL
N.T.S.

FLOATING TURBIDITY BARRIER INSTALLATION NOTES

1. FLOATING TURBIDITY BARRIERS SHALL BE INSTALLED WITH KICKING KICKS AND/OR CANALS. REFER TO STANDARD POLLUTION PREVENTION PLANS FOR EXACT LOCATIONS.
2. CONTRACTOR MAY INSTALL A SAND DRAIN FOR TYPE 1 AND TYPE 2 FLOATING TURBIDITY BARRIERS ONLY IF APPROVED BY BOTH THE ENGINEER AND RECORD AND THE APPLICABLE GOVERNMENT AGENCIES.
3. CONTRACTOR SHALL PROVIDE A PROVISION FOR THE BARRIER TO BE REMOVED OR REPAIRED IN THE EVENT OF DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REMOVAL AND REPAIR.
4. CONTRACTOR SHALL MAINTAIN THE BARRIER AT ALL TIMES AND SHALL BE RESPONSIBLE FOR THE COST OF MAINTENANCE AND REPAIR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REMOVAL AND REPAIR.



FILTER FABRIC INSTALLATION DETAIL
N.T.S.

FILTER FABRIC INSTALLATION NOTES

1. THE FILTER FABRIC SHALL BE INSTALLED AT A MINIMUM OF 18 INCHES ABOVE THE GROUND SURFACE.
2. THE FILTER FABRIC SHALL BE INSTALLED AT A MINIMUM OF 18 INCHES ABOVE THE GROUND SURFACE.
3. CONTRACTOR SHALL MAINTAIN THE FILTER FABRIC AT ALL TIMES AND SHALL BE RESPONSIBLE FOR THE COST OF MAINTENANCE AND REPAIR.

GENERAL EROSION AND TURBIDITY CONTROL NOTES

1. ALL EROSION AND TURBIDITY CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AT ALL TIMES AND SHALL BE RESPONSIBLE FOR THE COST OF MAINTENANCE AND REPAIR.
2. A TEMPORARY BARRIER SHALL BE INSTALLED AROUND ALL WEIPTS AND OTHER NATURAL OBSTRUCTIONS PRIOR TO ANY CONSTRUCTION ACTIVITIES. THESE AREAS SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE RESPONSIBLE FOR THE COST OF MAINTENANCE AND REPAIR.
3. CONTRACTOR SHALL MAINTAIN THE BARRIER AT ALL TIMES AND SHALL BE RESPONSIBLE FOR THE COST OF MAINTENANCE AND REPAIR.
4. CONTRACTOR SHALL MAINTAIN THE BARRIER AT ALL TIMES AND SHALL BE RESPONSIBLE FOR THE COST OF MAINTENANCE AND REPAIR.
5. CONTRACTOR SHALL MAINTAIN THE BARRIER AT ALL TIMES AND SHALL BE RESPONSIBLE FOR THE COST OF MAINTENANCE AND REPAIR.
6. CONTRACTOR SHALL MAINTAIN THE BARRIER AT ALL TIMES AND SHALL BE RESPONSIBLE FOR THE COST OF MAINTENANCE AND REPAIR.



HSQ GROUP, INC.
Engineers - Planners - Surveyors
10000 E. Harvard Ave., Suite 100
Denver, CO 80231
Phone: 303.755.8888
Fax: 303.755.8889

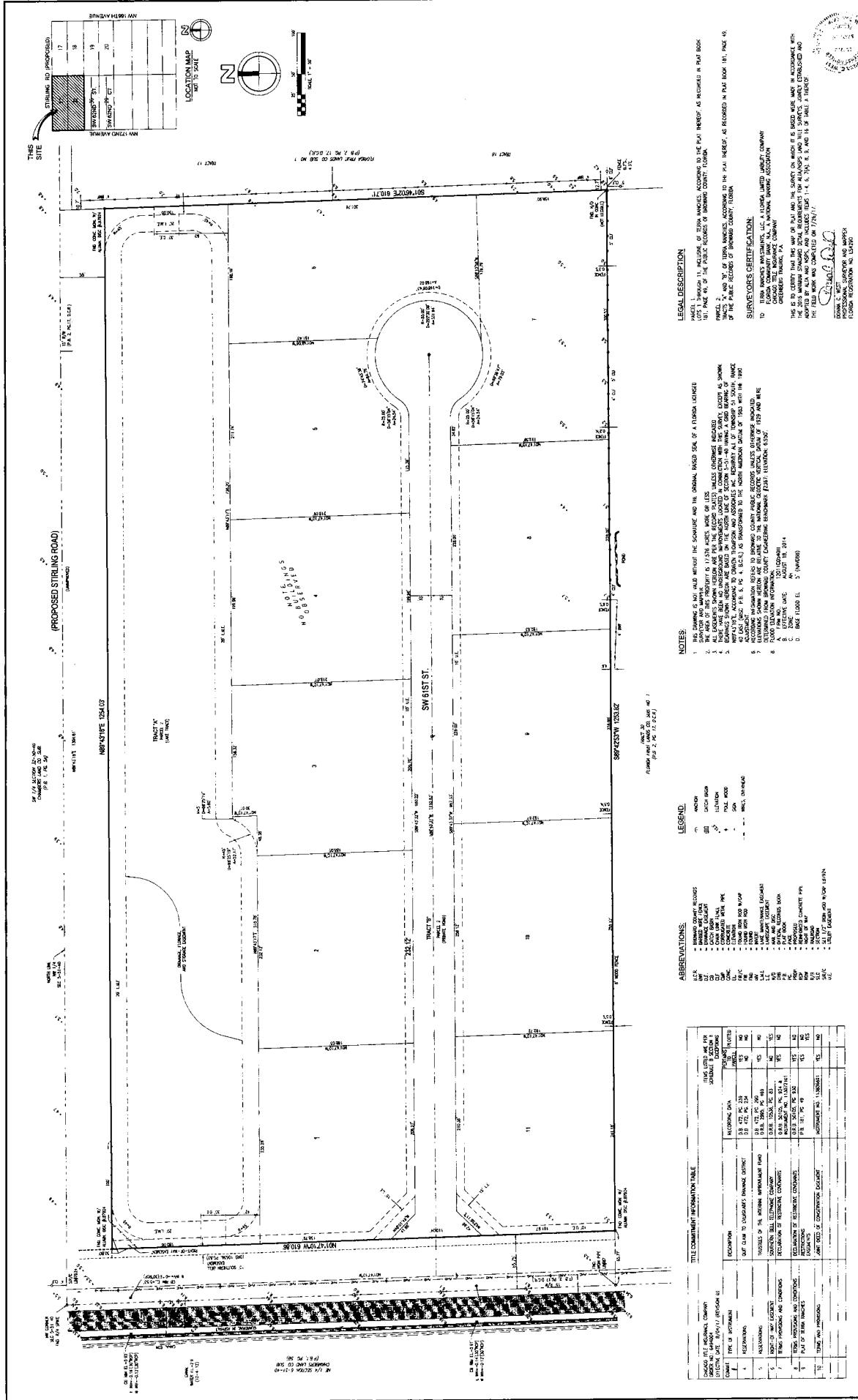
TERRA RANCHES
EROSION CONTROL DETAILS

PROJECT NUMBER: 1211-59
SHEET NUMBER: SWPP-3

NO.	DATE	BY	REVISION

Checked by:	A.G.	Date:	3/13
Drawn by: <td> </td> <td>Date: <td>3/13</td> </td>		Date: <td>3/13</td>	3/13
Designed by: <td>N.S. <td>Date: <td>3/13</td> </td></td>	N.S. <td>Date: <td>3/13</td> </td>	Date: <td>3/13</td>	3/13

Approved by: ANTONIO GALVAN
Registered Engineer Number: 59477
State of Idaho



THIS SITE IS TO BE USED FOR THE PROPOSED STIRLING ROAD PROJECT. THE SURVEY IS BEING CONDUCTED FOR THE PURPOSE OF DETERMINING THE BOUNDARIES OF THE LAND AND THE LOCATION OF THE PROPOSED ROAD. THE SURVEY IS BEING CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 469, F.S. THE SURVEY IS BEING CONDUCTED BY HSO GROUP, INC., A PROFESSIONAL SURVEYING FIRM LICENSED UNDER CHAPTER 469, F.S. THE SURVEY IS BEING CONDUCTED ON BEHALF OF THE CLIENT, WHO IS THE OWNER OF THE LAND. THE SURVEY IS BEING CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 469, F.S. THE SURVEY IS BEING CONDUCTED BY HSO GROUP, INC., A PROFESSIONAL SURVEYING FIRM LICENSED UNDER CHAPTER 469, F.S. THE SURVEY IS BEING CONDUCTED ON BEHALF OF THE CLIENT, WHO IS THE OWNER OF THE LAND.

NOTES:

1. THE SURVEY IS BEING CONDUCTED WITHOUT THE CONSENT OF THE ORIGINAL OWNER OF THE LAND.
2. THE AREA OF THE PROPERTY IS 17.5 ACRES, MORE OR LESS.
3. THE SURVEY IS BEING CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 469, F.S.
4. THE SURVEY IS BEING CONDUCTED ON BEHALF OF THE CLIENT, WHO IS THE OWNER OF THE LAND.
5. THE SURVEY IS BEING CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 469, F.S.
6. THE SURVEY IS BEING CONDUCTED BY HSO GROUP, INC., A PROFESSIONAL SURVEYING FIRM LICENSED UNDER CHAPTER 469, F.S.
7. THE SURVEY IS BEING CONDUCTED ON BEHALF OF THE CLIENT, WHO IS THE OWNER OF THE LAND.
8. THE SURVEY IS BEING CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 469, F.S.
9. THE SURVEY IS BEING CONDUCTED BY HSO GROUP, INC., A PROFESSIONAL SURVEYING FIRM LICENSED UNDER CHAPTER 469, F.S.
10. THE SURVEY IS BEING CONDUCTED ON BEHALF OF THE CLIENT, WHO IS THE OWNER OF THE LAND.

LEGAL DESCRIPTION:

THIS IS TO CERTIFY THAT THE MAP OF PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 469, F.S. THE SURVEY IS BEING CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 469, F.S. THE SURVEY IS BEING CONDUCTED BY HSO GROUP, INC., A PROFESSIONAL SURVEYING FIRM LICENSED UNDER CHAPTER 469, F.S. THE SURVEY IS BEING CONDUCTED ON BEHALF OF THE CLIENT, WHO IS THE OWNER OF THE LAND.

ABBREVIATIONS:

B.M. BENCH MARK
 C.C. CURB CORNER
 C.P. CURB POINT
 D.M. DITCH MARK
 E.M. EMBANKMENT MARK
 F.M. FIRE MARK
 G.M. GRAVEL MARK
 H.M. HOLE MARK
 I.M. IRON MARK
 J.M. JEWEL MARK
 K.M. KILN MARK
 L.M. LIME MARK
 M.M. METAL MARK
 N.M. NAIL MARK
 O.M. OIL MARK
 P.M. PILE MARK
 Q.M. QUARRY MARK
 R.M. ROAD MARK
 S.M. SIGN MARK
 T.M. TOWER MARK
 U.M. UMBEL MARK
 V.M. VENT MARK
 W.M. WIRE MARK
 X.M. X-MARK
 Y.M. Y-MARK
 Z.M. Z-MARK

LEGEND:

--- UNDEVELOPED LAND
 --- DEVELOPED LAND
 --- ROAD
 --- RAILROAD
 --- CANAL
 --- DITCH
 --- FENCE
 --- CURB
 --- EMBANKMENT
 --- HOLE
 --- IRON
 --- JEWEL
 --- KILN
 --- LIME
 --- METAL
 --- NAIL
 --- OIL
 --- PILE
 --- QUARRY
 --- ROAD
 --- SIGN
 --- TOWER
 --- UMBEL
 --- VENT
 --- WIRE
 --- X-MARK
 --- Y-MARK
 --- Z-MARK

NOTES:

1. THE SURVEY IS BEING CONDUCTED WITHOUT THE CONSENT OF THE ORIGINAL OWNER OF THE LAND.
2. THE AREA OF THE PROPERTY IS 17.5 ACRES, MORE OR LESS.
3. THE SURVEY IS BEING CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 469, F.S.
4. THE SURVEY IS BEING CONDUCTED ON BEHALF OF THE CLIENT, WHO IS THE OWNER OF THE LAND.
5. THE SURVEY IS BEING CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 469, F.S.
6. THE SURVEY IS BEING CONDUCTED BY HSO GROUP, INC., A PROFESSIONAL SURVEYING FIRM LICENSED UNDER CHAPTER 469, F.S.
7. THE SURVEY IS BEING CONDUCTED ON BEHALF OF THE CLIENT, WHO IS THE OWNER OF THE LAND.
8. THE SURVEY IS BEING CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 469, F.S.
9. THE SURVEY IS BEING CONDUCTED BY HSO GROUP, INC., A PROFESSIONAL SURVEYING FIRM LICENSED UNDER CHAPTER 469, F.S.
10. THE SURVEY IS BEING CONDUCTED ON BEHALF OF THE CLIENT, WHO IS THE OWNER OF THE LAND.

LEGAL DESCRIPTION:

THIS IS TO CERTIFY THAT THE MAP OF PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 469, F.S. THE SURVEY IS BEING CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 469, F.S. THE SURVEY IS BEING CONDUCTED BY HSO GROUP, INC., A PROFESSIONAL SURVEYING FIRM LICENSED UNDER CHAPTER 469, F.S. THE SURVEY IS BEING CONDUCTED ON BEHALF OF THE CLIENT, WHO IS THE OWNER OF THE LAND.

ABBREVIATIONS:

B.M. BENCH MARK
 C.C. CURB CORNER
 C.P. CURB POINT
 D.M. DITCH MARK
 E.M. EMBANKMENT MARK
 F.M. FIRE MARK
 G.M. GRAVEL MARK
 H.M. HOLE MARK
 I.M. IRON MARK
 J.M. JEWEL MARK
 K.M. KILN MARK
 L.M. LIME MARK
 M.M. METAL MARK
 N.M. NAIL MARK
 O.M. OIL MARK
 P.M. PILE MARK
 Q.M. QUARRY MARK
 R.M. ROAD MARK
 S.M. SIGN MARK
 T.M. TOWER MARK
 U.M. UMBEL MARK
 V.M. VENT MARK
 W.M. WIRE MARK
 X.M. X-MARK
 Y.M. Y-MARK
 Z.M. Z-MARK

LEGEND:

--- UNDEVELOPED LAND
 --- DEVELOPED LAND
 --- ROAD
 --- RAILROAD
 --- CANAL
 --- DITCH
 --- FENCE
 --- CURB
 --- EMBANKMENT
 --- HOLE
 --- IRON
 --- JEWEL
 --- KILN
 --- LIME
 --- METAL
 --- NAIL
 --- OIL
 --- PILE
 --- QUARRY
 --- ROAD
 --- SIGN
 --- TOWER
 --- UMBEL
 --- VENT
 --- WIRE
 --- X-MARK
 --- Y-MARK
 --- Z-MARK

NOTES:

1. THE SURVEY IS BEING CONDUCTED WITHOUT THE CONSENT OF THE ORIGINAL OWNER OF THE LAND.
2. THE AREA OF THE PROPERTY IS 17.5 ACRES, MORE OR LESS.
3. THE SURVEY IS BEING CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 469, F.S.
4. THE SURVEY IS BEING CONDUCTED ON BEHALF OF THE CLIENT, WHO IS THE OWNER OF THE LAND.
5. THE SURVEY IS BEING CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 469, F.S.
6. THE SURVEY IS BEING CONDUCTED BY HSO GROUP, INC., A PROFESSIONAL SURVEYING FIRM LICENSED UNDER CHAPTER 469, F.S.
7. THE SURVEY IS BEING CONDUCTED ON BEHALF OF THE CLIENT, WHO IS THE OWNER OF THE LAND.
8. THE SURVEY IS BEING CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 469, F.S.
9. THE SURVEY IS BEING CONDUCTED BY HSO GROUP, INC., A PROFESSIONAL SURVEYING FIRM LICENSED UNDER CHAPTER 469, F.S.
10. THE SURVEY IS BEING CONDUCTED ON BEHALF OF THE CLIENT, WHO IS THE OWNER OF THE LAND.

PROPERTY NUMBER
1211-59

SHEET NUMBER
1 OF 1

MAP OF ALTANSPS LAND TITLE SURVEY

TERRA RANCHES

TOWN OF SOUTHWEST RANCHES, BROWARD COUNTY, FLORIDA

HSO GROUP, INC.
Engineers, Planners, Surveyors
1450 West Palmetto Park Road, Suite 340
Boca Raton, Florida 33486-5613
Phone: 561.352.0221
Fax: 561.352.0222

DATE 12/25/12

SCALE 1"=50'

DRAWN BY DTM

CHECKED BY DTM

FIELD BOOK 060325

SURVEY TYPE BOUNDARY

DATE 12/25/12

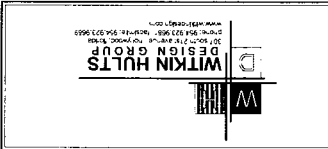
SCALE 1"=50'

DRAWN BY DTM

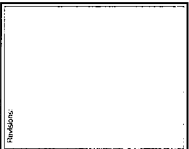
CHECKED BY DTM

FIELD BOOK 060325

SURVEY TYPE BOUNDARY



SOUTHWEST RANCHES
BROWARD COUNTY, FLORIDA
COVER & TREE DISPOSITION CHART

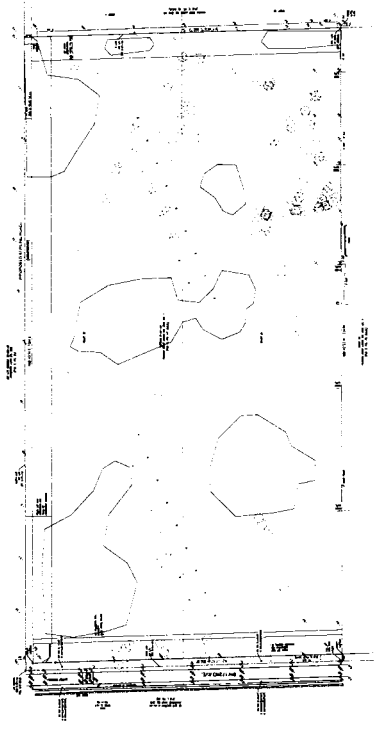


L. A. Robinson
Landscape Architect
Florida, A.L.A.

Drawing Title: Tree Disposition Chart
Date: 11/19/2019
Scale: 1/8" = 1'-0"
Drawing No.: 19-0000-001
Sheet No.: 19-0000-001

L-1

REF #	DESCRIPTION	DATE	BY	CHECKED	STATUS	DATE	BY	CHECKED	STATUS
1	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
2	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
3	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
4	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
5	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
6	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
7	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
8	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
9	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
10	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
11	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
12	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
13	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
14	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
15	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
16	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
17	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
18	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
19	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
20	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
21	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
22	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
23	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
24	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
25	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
26	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
27	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
28	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
29	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
30	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
31	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
32	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
33	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
34	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
35	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
36	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
37	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
38	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
39	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
40	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
41	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
42	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
43	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
44	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
45	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
46	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
47	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
48	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
49	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final
50	19-0000-001	11/19/2019	LA	LA	Final	11/19/2019	LA	LA	Final



KEY PLAN
Scale: NTS



- SHEET INDEX:**
- L-1 COVER & DISPOSITION CHART
 - L-2 TREE DISPOSITION PLAN
 - L-3 LANDSCAPE PLAN
 - L-4 LANDSCAPE DETAILS

NOTES:

1. All measurements are to be used for construction purposes.
2. Tree locations and sizes are to be verified in the field prior to construction.
3. Tree locations and sizes are to be verified in the field prior to construction.
4. Tree locations and sizes are to be verified in the field prior to construction.

TREE SURVIVAL PROTECTED BY:

A. Swann, Inc.
3333 North Ave. SW, #101
Atlanta, GA 30317
www.swanninc.com
Tel: 404.525.1100

WITKIN HULTS
DESIGN GROUP
207 W. 17th Street, Suite 100
Broward County, Florida 33411
Phone: 754.733.9000
Fax: 754.733.9001
www.witkinhults.com

SOUTHWEST RANCHES
BROWARD COUNTY, FLORIDA
TREE DISPOSITION PLAN

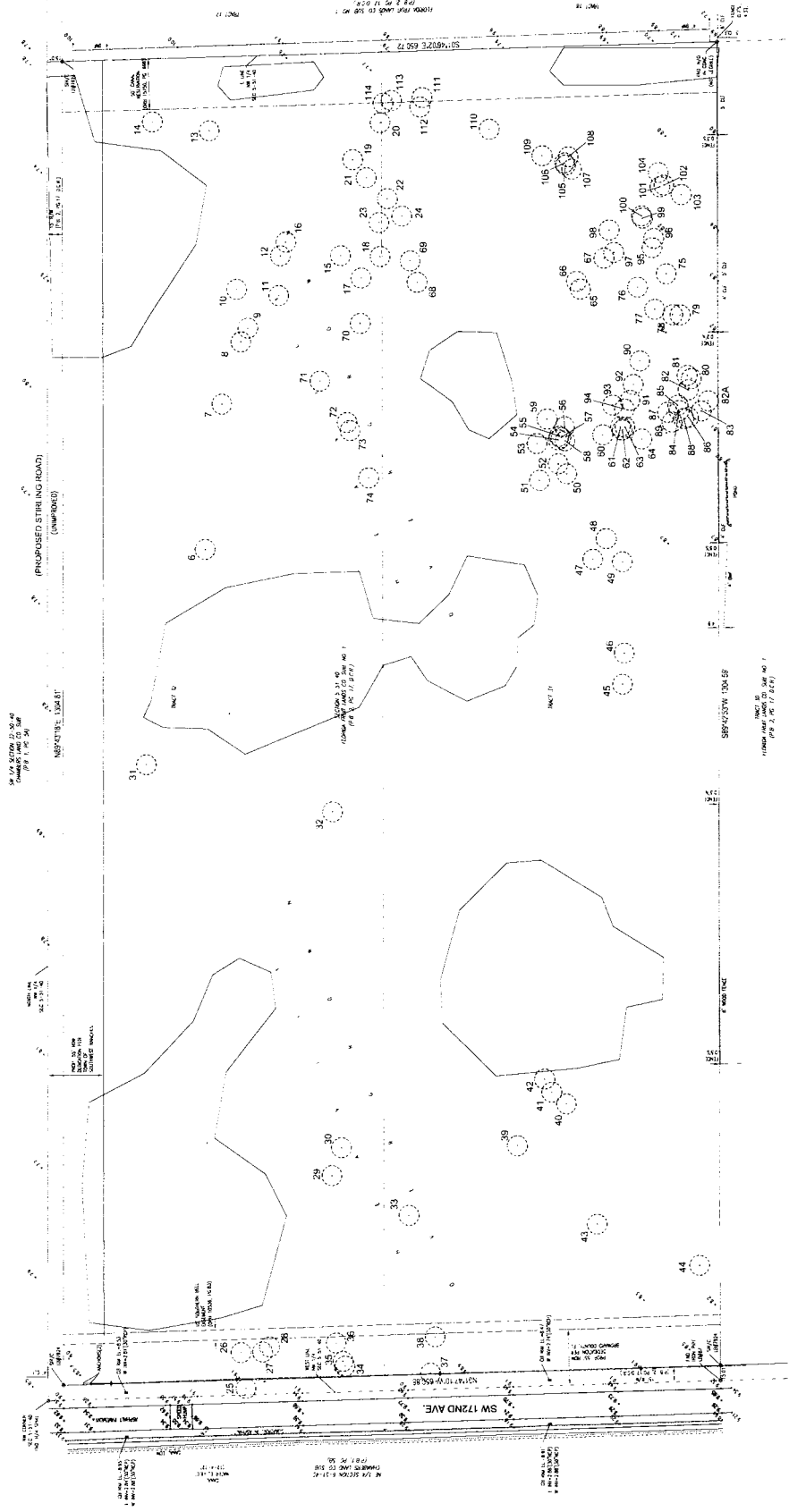
Revisions:

Scale:

Drawing Title: Tree Disposition Plan
Client: 11800213
Scale: 1"=50'-0"
Drawing Date: 07/11/2013
Sheet No.:
Call #: 407-212-0494



L-2



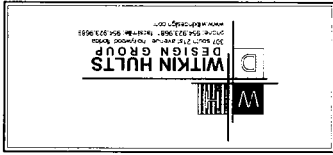
Legend

- Tree Location
- Tree Location
- Tree Location

TREE SURVEY PROVIDED BY:

1. Robinson, Incorporated
2550 NW 23rd Ave., #11107
Fort Lauderdale, FL 33311
www.robinsoninc.com
Tel: 754-454-1334

TREE DISPOSITION PLAN
Scale: 1" = 50'-0"

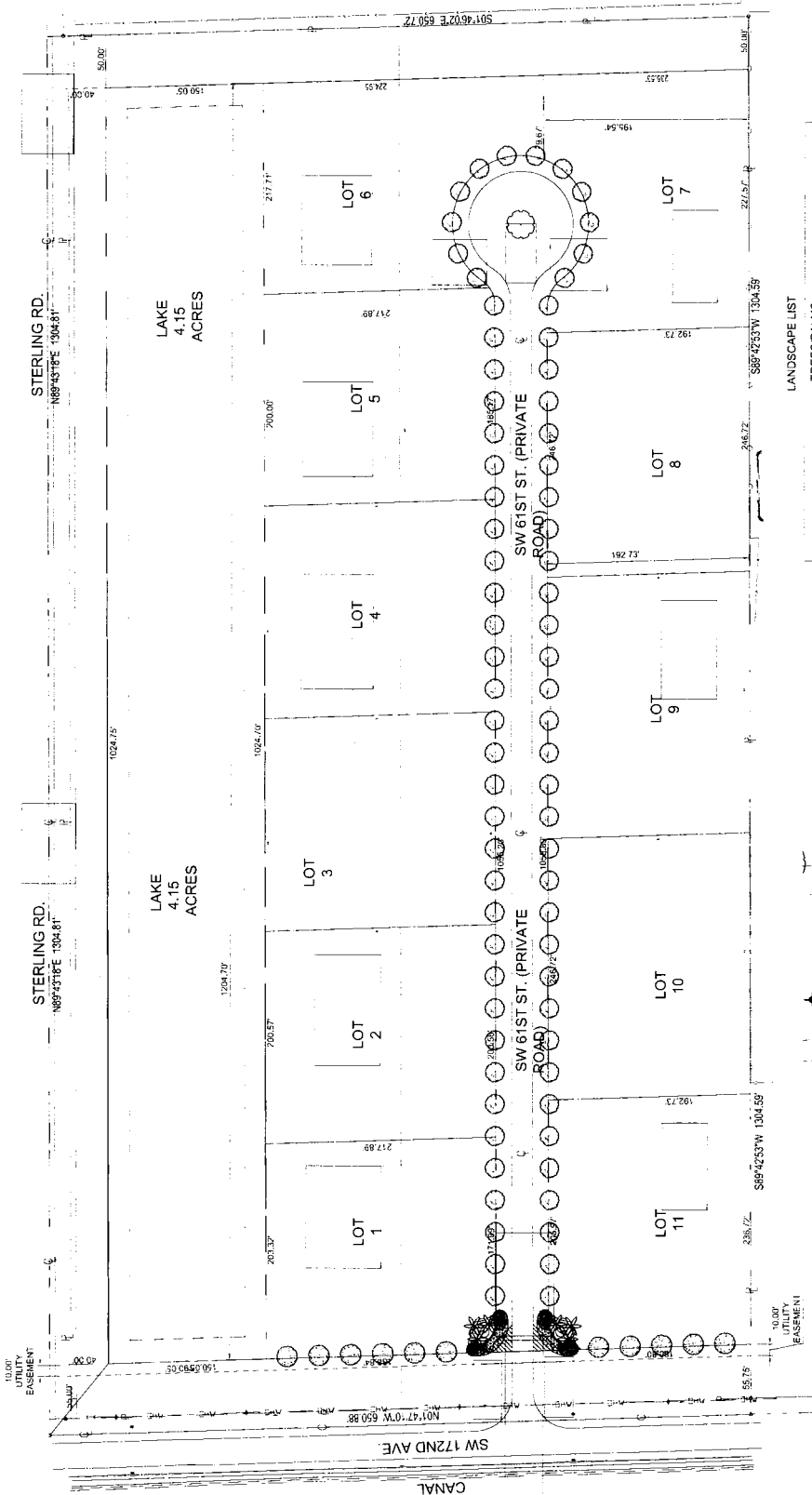


SOUTHWEST RANCHES
BROWARD COUNTY, FLORIDA
LANDSCAPE PLAN

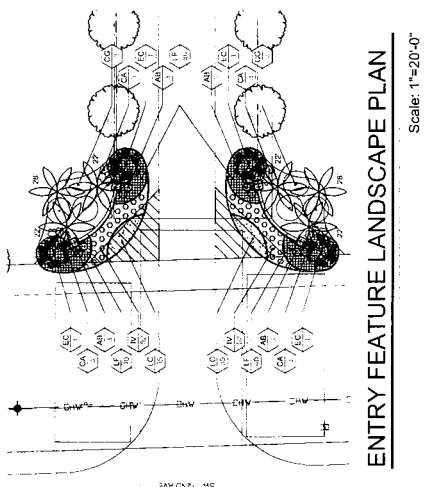
Scale: 1"=50'-0"

Scale: 1"=20'-0"

L-3
DATE: 11/18/2013
DRAWN BY: JCL
CHECKED BY: JCL
PROJECT NO.: 1304-81




SYMBOL	QUANT.	SYMBOL	QUANT.
(Tree symbol)	11	(Shrub symbol)	12
(Palm symbol)	76	(Grass symbol)	12
(Star symbol)	6	(Grass symbol)	6
(Circle symbol)	1	(Grass symbol)	4
		(Grass symbol)	164
		(Grass symbol)	160
		(Grass symbol)	160



OVERALL LANDSCAPE PLAN
Scale: 1"=50'-0"

ENTRY FEATURE LANDSCAPE PLAN
Scale: 1"=20'-0"



 WITKIN HULTS

 LANDSCAPE ARCHITECTS

 2275 W. UNIVERSITY BLVD. SUITE 100

 BOCA RATON, FL 33433

 WWW.WITKINHULTS.COM

SOUTHWEST RANCHES

 BROWARD COUNTY, FLORIDA

 LANDSCAPE DETAILS

Title Block

Scale

Drawing: Landscape Detail

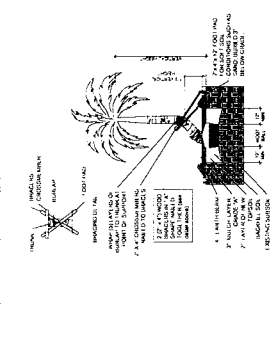
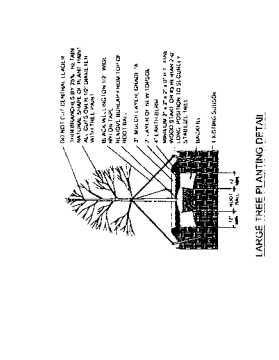
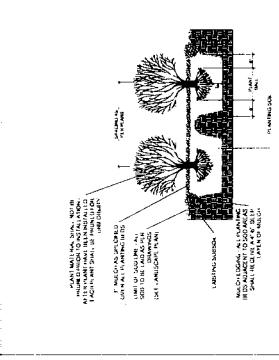
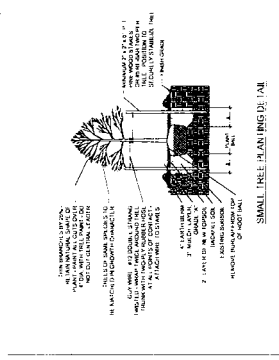
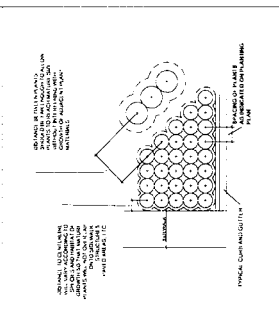
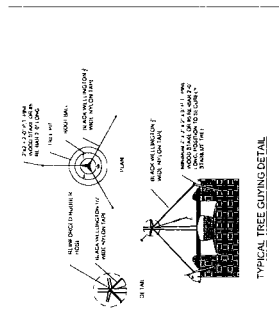
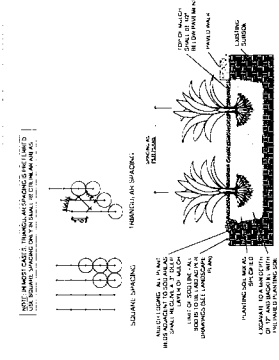
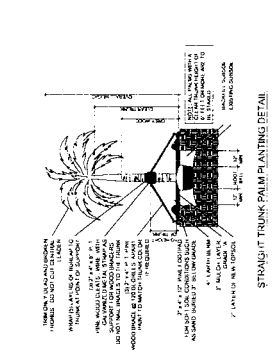
 Date: 11/25/2013

 Scale: N/A

 User: JCH

 Sheet No.

 Title: L-4



SOD NOTES:


- Sod is to be grade "A" weed free.
- All areas marked "LAWN" shall be sods sodded with St. Augustine "Floratum" sod. See limit on plan. All areas marked "Bahia Grass" shall be sods sodded with Paspalum.
- Provide a 2" deep blanket of planting soil as described in planting notes this sheet. Prior to planting, remove stones, sticks, etc. from the sub soil surface. Excavate existing non-conforming soil as required so that the finish grade of sod is flush with adjacent pavement or top of curb as well as adjacent sod in the case of sod patching.
- Place sod on moistened soil, with edges tightly butted, in staggered rows at right angles to slopes.
- Keep edge of sod bed a minimum of 18" away from groundcover beds and 24" away from edge of shrub beds and 36" away from trees, measured from center of plant.
- Sod shall be watered immediately after installation to uniformly wet the soil to at least 2" below the bottom of the sod strips.
- Excavate and remove excess soil so top of sod is flush with top of curb or adjacent pavement or adjacent existing sod.

PLANTING NOTES:

- All plant material is to be Florida Number 1 or better pursuant to the Florida Department of Agriculture's Groves and Standards for Nursery Plants.
- All plants are to be top dressed with a minimum 3" layer of Melaleuca mulch, Eucalyptus mulch or equal.
- No changes are to be made without the prior consent of the Landscape Architect and Owner. Additions and/or deletions to the plant material must be approved by the project engineer.
- Landscape Contractor is responsible for providing their own square footage takeoffs and field verification for 100% sod coverage for all areas specified.
- All landscape areas are to be provided with automatic sprinkler system which provide 100% coverage, and 50% credit.
- All trees in lawn areas are to receive a 24" diameter mulched saucer at the base of the trunk.
- Trees are to be planted within parking islands after soil is brought up to grade. Deeply set root balls are not acceptable.
- Planting soil for topsoil and backfill shall be 50/50 mix, nematode free. Planting soil for annual beds to be comprised of 50% Canadian peat moss, 25% soil free coarse sand and 25% Aerolite.
- Tree and shrub pits will be supplemented with "Agriform Pellets", 21 gram size with a 20-10-5 analysis, or substitute application accepted by Landscape Architect. Deliver in manufacturer's standard containers showing weight, analysis and name of manufacturer.

GENERAL NOTES:

- The Landscape Contractor is to locate and verify all underground and overhead utilities prior to beginning work. Contact proper utility companies and / or General Contractor prior to digging for field verification. The Owner and the Landscape Architect shall not be responsible for any damages to utility or irrigation lines (see Roadway Plans for more utility notes).
- Landscape Contractor is to verify all current drawings and check for discrepancies and bring to the attention of the Landscape Architect prior to commencing with the work.
- All unattended and unplanted tree pits are to be properly banded and flagged during installation.
- All planting plans are issued as directives for site layout. Any deviations, site changes, etc. are to be brought to the attention of the Landscape Architect for clarification prior to installation.



 WITKIN HULTS

 DESIGN GROUP

 1275 SOUTH BAY AVENUE, SUITE 1000, MIAMI, FL 33134

 TEL: 305.371.9999 FAX: 305.371.9998

 WWW.WITKINHULTS.COM

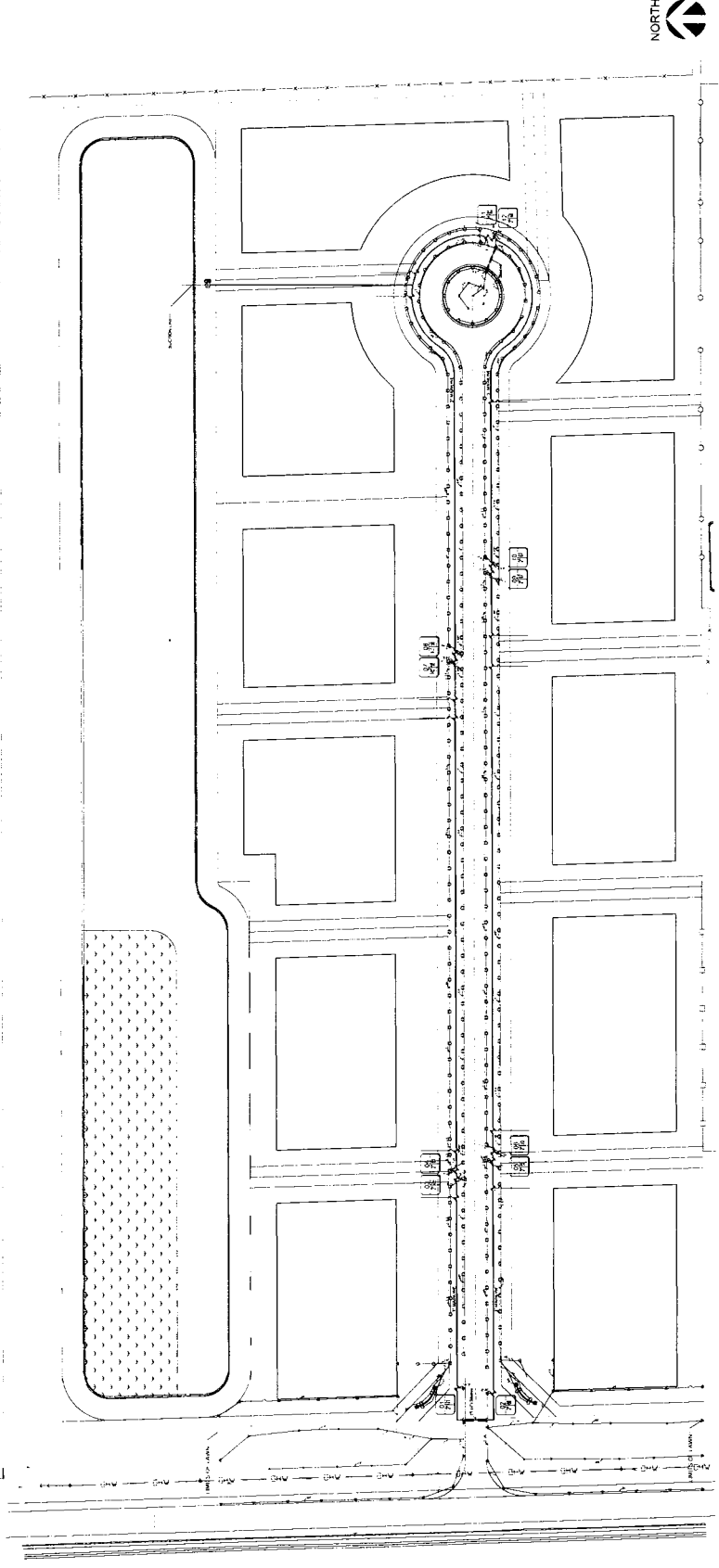
IRRIGATION PLAN
 SOUTHWEST RANCHES
 BROWARD COUNTY, FLORIDA

Revision

Title

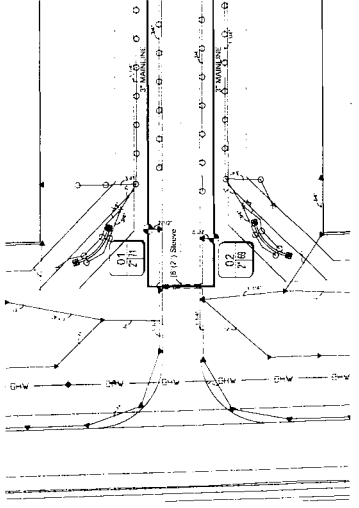
Drawing Information
 Date: 03/20/13
 Scale: as shown
 Drawn by: L1
 Sheet No.
 Case No. 2012-0564

IR-1



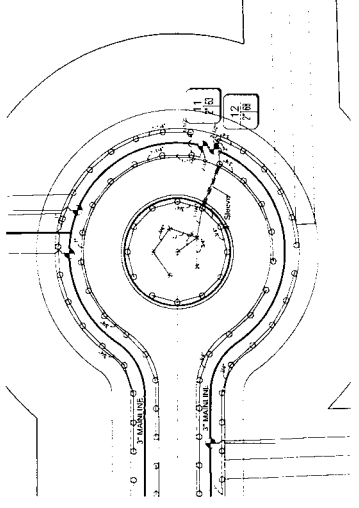
OVERALL IRRIGATION PLAN

Scale: 1"=50'-0"



ENTRY FEATURE IRRIGATION PLAN

Scale: 1"=30'-0"



CUL-DE-SAC IRRIGATION PLAN

Scale: 1"=30'-0"

Irrigation Notes

LAYOUT

LAYOUT IRRIGATION SYSTEM MAINLINES AND LATERAL LINES, MAKE ALL NECESSARY MODIFICATIONS TO NOZZLE TYPES ETC. AS REQUIRED TO INSURE 100% COVERAGE AND 100% OVERLAP.

LOW ANGLE TRAJECTORY NOZZLES SHALL BE USED WHEN ALL SPRINKLERS AND ROTORS ARE LOCATED WITHIN 100' OF POOLS OR PUBLIC GATHERING AREAS.

PIPE

PIPE LOCATIONS SHOWN ON PLAN ARE SCHEMATIC ONLY AND SHALL BE ADJUSTED IN THE FIELD, WHEN LAYING-OUT MAINS AND LATERALS. LOCATE PIPE NEAR EDGES OF PAVEMENT OR AGAINST BUILDINGS WHEREVER POSSIBLE TO ALLOW SPACE FOR PLANT ROOT BALLS.

SPRING UNDER HARDSCAPES SUCH AS ROADS, WALKS, AND PATIOS ARE TO BE SLEEVED USING SCH. 40 PIPE.

THRUST BLOCKS OR MEGA LUGS AND DUCTILE IRON FITTINGS TO BE USED ON ALL GASKETED 'O' RING PIPES AT TURNING LOCATIONS.

*SAFE ALL PIPES DO NOT TO EXCEED 2' PER SECOND

*INSTALL MAIN SENSOR AS PER LOCAL CODE

PIPES CONVEYING RECLAIM WATER SHALL HAVE A 3' HORIZONTAL DISTANCE SEPARATION FROM UTILITIES SERVICES. AN 'X' VERTICAL SEPARATION SHALL BE MAINTAINED WHEN APPLICABLE.

AIR RELEASE VALVES TO BE USED AT THE END OF ALL MAINLINE RUNS.

WIRES

LOW VOLTAGE WIRE TO BE INSTALLED ALONG MAINLINE INSTALLATION. USE 2" SCH. 40 PVC WITH SWEEP ELBOWS AT TURNING LOCATIONS WHEN SLEEVING IS REQUIRED. ALL SPACES SHALL BE ENCLOSED WITHIN A VALVE/SPICE BOX.

WIRE SIZES AND COLORS AS FOLLOWS:

#12 WHITE FOR COMMON

#12 SPARE BLACK COMMON (1 SPARE NEEDED PER 10 NOT WIRES)

#14 RED HOT WIRES

#14 SPARE YELLOW HOT WIRE (1 SPARE NEEDED PER 10 HOT WIRES, 3 SPARE MINIMUM)

WHEN WIRE RUNS EXCEEDS 3,500 LINEAR FEET, USE #10 FOR COMMON WIRES AND #12 FOR HOTSPARE WIRES.

ALL IRRIGATION CONTROLLERS TO BE PROPERLY GROUNDED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

FLUSHING

PRIOR TO PLACEMENT OF HEADS FLUSH ALL LINES UNTIL LINES ARE COMPLETELY CLEAN OF DEBRIS.

TRENCHING

TRENCH BOTTOM TO BE UNIFORM AND FREE OF DEBRIS. NATIVE EXCAVATED MATERIAL USED TO BACKFILL TRENCH SHALL BE FREE FROM ROCKS OR STONES LARGER THAN 1" IN DIAMETER.

TESTING

PRESSURE TEST MAINLINE AS PER FLORIDA BUILDING CODE. INSTALL IRRIGATION SYSTEM AS PER FLORIDA BUILDING CODE 2010, APPENDIX C, AND ALL PERTINENT LOCAL CODES.

DESIGN

THIS DESIGN IS DIAGRAMATIC. ALL IRRIGATION EQUIPMENT SUCH AS PIPES, VALVES, ETC., SHOWN WITHIN PERVIOUS AREAS ARE FOR DESIGN CLARIFICATION ONLY. THE IRRIGATION CONTRACTOR SHALL INSTALL IRRIGATION EQUIPMENT IN PLANTING AREAS WHEREVER POSSIBLE.

THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK, INCLUDING BUT NOT LIMITED TO GRADE DIFFERENCES, LOCATION OF WALLS, EXISTING UTILITIES, AND ANY OTHER INFORMATION THAT MAY BE NECESSARY FOR THE IRRIGATION CONTRACTOR TO BE RESPONSIBLE TO REPAIR AND/OR REPLACE ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES FOR THE LOCATION AND INSTALLATION OF IRRIGATION EQUIPMENT UNDER ROADWAYS AND PAVING, SLEEVES THROUGH WALLS AND FLOORS, ETC.

INSTALL ALL IRRIGATION EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

DO NOT INSTALL IRRIGATION EQUIPMENT AS SHOWN ON THE DRAWINGS WHEN FIELD CONDITIONS DIFFER. OBSTRUCTIONS OR DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE IRRIGATION CONTRACTOR AT THE TIME OF INDIVIDUAL HOME PERMITAL SUBMITTAL.

PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY.

NOTE

HOMES TO BE FULLY IRRIGATED. THE IRRIGATION DESIGN FOR THE INDIVIDUAL LOTS TO BE COMPLETED AT TIME OF INDIVIDUAL HOME PERMITAL SUBMITTAL.

EQUIPMENT TABLE

Symbol	Description
	Rainbird ESP LAME 24 Station Controller
	Rain Sensor
Irrigation Heads	
Symbol	Description
	RAINBIRD 1800 SERIES 15 Series trajectory 30 deg 180"
	RAINBIRD 1800 SERIES 15 Series trajectory 30 deg 240"
	RAINBIRD 1800 SERIES 15 Series trajectory 30 deg 270"
	RAINBIRD 5000 Series Nozzle 2.36"
	RAINBIRD 5000 Series Nozzle 2 ADJ"
Pipes	
Symbol	Description
	Class 160 PVC (Lateral)
	SCH 40 PVC (Mainline)
	SCH 40 PVC (Sleeve)
Pumps	
Symbol	Description
	5 HP Sparkle Pump
Valves	
Symbol	Description
	Rainbird PGA Valve



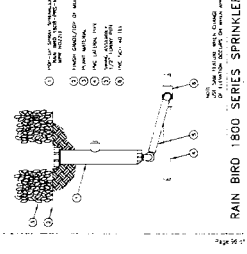
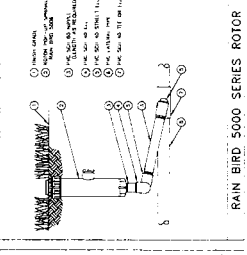
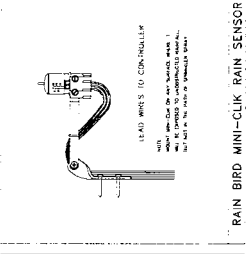
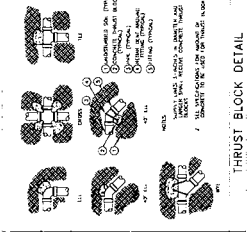
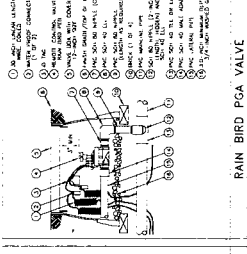
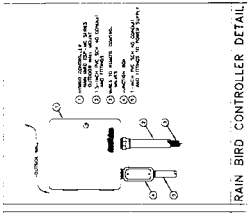
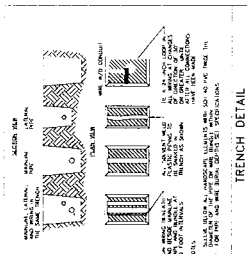
WITKIN HULTS
 12101 W. 11th Ave. Suite 100
 Fort Lauderdale, FL 33325
 Phone: 954.343.2222
 Fax: 954.343.2222
 www.witkinhults.com

SOUTHWEST RANCHES
 BROWARD COUNTY, FLORIDA
 IRRIGATION DETAILS

Sheet No. _____
 Revision No. _____

Drawn by: J. H. ...
 Checked by: ...
 Date: 10/27/09

IR-2
 207-2098



NAME_LINE_1
16601 SOUTHWEST 64TH STREET LLC
16755 BERKSHIRE LLC
ACOSTA,ALEXIS H/E
ALBRECHT,ALLEN A & MARTHA A
ANNESTY,DAWN
ANTON,CARL C SR EST
ANTON,FRANK C
ANTON,LUZ MARINA
ARIAS,MIGUEL
ARUBA PROPERTIES LLC
ASOUS,WILLIAM & YVETTE
ASSAL,SHERIF M
AULD,JOHN & OLGA CHRISTINE
BAKER,MICHAEL D H/E
BEROVIDES,HECTOR
BERRY,K R & MARIE F
BETANCOURT,LOURDES
BLANFORD,MICHAEL L & SHERRI P
BOFILL,JUAN CARLOS
BOUDREAU,JOSEPH F JR
BOWERS,DIANNE H/E
BROOKER,GARY & ALICIA E
BROWARD COUNTY
C J SCHOSNIG DECLARATION OF TR
CALLAHAN,PETER M & TRACIE M
CANALES,EDUARDO
CANGEMIE,JAMES R
CAPO DANIEL
CARL C ANTON SR TESTAMRNTARY TR
CARSARES TR
CARVAJAL,PEDRO L
CASTRO,ERIK R & STEPHANIE L
CAZA DEVELOPMENT LLC
CHAVEZ,OMAR D
COHEN,MICHAEL
COHEN,MICHAEL L
COLUMBIS,CHARLES P
CONSTANTINE,TROY & STACY
CORBITT,DONALD A & PATRICIA A
CORBITT,HELEN
COUVERTIER,DOUGLAS
CREARY,HORACE O & ROSALIE M H
CRIADO,JORGE
CUMMINS,GEORGE & MARLISE
CUTRI,MICHELE
DAGER,ALEXIS & ELLISSA

NAME_LINE_2

VILLAR,DALIA H/E ET AL
DAWN ANNESTY REV TR

BAKER,JANET L
BEROVIDES,EVELYN

E'ORIO,SHAYNA N
ARIAS-BOUDREAU,AUTUMN M
BOWERS,JEREMY
BOARD OF COUNTY COMMISSIONERS
SCHOSNIG,CLARA J TRSTEE ETAL

PEREZ,SONIANGELES
DANIEL CAPO TR ETAL
FRANK C ANTON TRSTEE
KNISPTEL,LESTER TRSTEE

DEL RISCO,CLARA

HALL-CREARY REV LIV TR
DELGADO,OMDAIDA

DAGER,ALFONSO A & FATIMA
DAGER,FERNANDO RAFAEL & SANDRA S
DE LA FE,JORGE & JULIET
DEPASS,DESMOND O JR & BRIDGET
DOGANIERI,JOSEPH D & ABBY M
DUANE-DRAY,VALERIE Y & MICHAEL T
DULAM FARMS LLC
ESMAIL,YASMEEN
FEBLES,GREGORY & TERESA V
FERNANDEZ,ROBERTO A
FETTERS,SANDRA K & SCHICK,BRIAN
FIGUEIRAS,ALESSONDRA
FLORESCUE,RENATE
FLYNN,JOHN E & DENISE H
FOVE EAST LAND TR
FREDERICK,GARNETT H/E
GARCIA ALFARO,ALEXANDRA
GARWOOD,WESLEY CONRAD
GAY,RUDY JR & ECKO
GOFF,GEORGE E & MICHELE
GOLDBERG,WENDY H/E
GOLDSTEIN,DAVID B & LYNE D
GONZALEZ,MAGALY
GORTON,SCOTT LE
GOTHELF,PAULINA V
GRECO,SALVATORE S & CHRISTINA
GREEN MEADOWS CHURCH OF GOD
GUBNITSKY,HAROLD & MARIA
HARRELL,JOHN L & PAULA C
HECTOR,ROSEMARIE
HELLER,BARBRO P
HERBERT SCHOSNIG R TR
HOMEOWNER'S ASSOCIATION OF
HOOVER,DAVID R & GRETCHEN
HUSAIN,SULAIMAN& LALITA D H/E
I R R INVESTORS LLC
ISMAIL,MOHAMMAD TAHIR
ISMAIL,MOHAMMED TAHIR &
JIMENEZ,ALEX & CHRISTINA B
JOG HOLDINGS LLC
KARDYS,PATRICIA H/E
KIMBALL,MICHAEL L
KUBAT,ROBERT D & ELEINES P
KUTSKA,BRUCE A & PAMELA
LA ILUSION PROP INVESTMENT LLC
LAING,RONALD & LAING,CAROLYN
LANDMARK CUSTOM RANCHES INC

DACHTON,JENNIFER
FIGUEIRAS,MIGUEL

ALTMAN,HOWARD TRSTEE
EASON-FREDERICK,SONIA
GARCIA ALFARO,ELIZABETH ETAL

OCTAGON

GOLDBERG,IRA
D B & L D GOLDSTEIN REV LIV TR

SCOTT GORTON REV TR
GOTHELF,MICHAEL J

MATHEN,A & THOMAS,J K TRS ETAL

LANDMARK RANCH ESTATES INC

HUSAIN,MANSUR ALI & BIBI NAFEZA

TAHIR,JAMILA
TAHIR,JAMILA

KARDYS,JAMES P

MONREY FOUNDATION, INC
R LAING & C LAING REV FAM TR
RICK BELL

LAPINTA,FRANK J	FRANK J LAPINTA REV TR
LAVORANO,OSCAR A & JILL	
LESTER,ORON L & BARBARA L	
LEWKOWICZ,AUGUSTO & ROSA	
LIBERTO,ROBERT & AILEEN	
LIEBLER,THOMAS &	LIEBLER,ALEXANDRA A
LIEBLER,THOMAS & ALEXANDRA	
LIPMAN,HOWARD & SARA	
LONDONO,ANN ISABELLE	ADZIMA,ERIC M & BROWNE,Alice V
LOPEZ,VIRGINIA LE	LOPEZ,TRACY V ETAL
LRE LOT 34 LLC	
LYNCH,EDNA	EDNA LYNCH REV TR
MAGRINO,CHARLES J JR & KATHY N	
MAKARY,MARK K & JENNIFER S	
MANDARINO,DANIEL	
MARIA,FRANKLIN	
MARSON LANDMARK RANCHES LLC	
MARTI,JOSE G & HILDA	
MARTINEZ,ANTHONY	RODRIGUEZ,CAROLINA V
MARTINEZ,ERNESTO & MICHELLE	
MARTINEZ,MARITZA	
MASONGSONG,PAUL E & HEATHER L	
MEACHAM,LORI	
MERCADO,JAMIE W & NORMA	
MIRANDA,CARLOS & ARACELI	
ML 23 LLC	
MONK,DAVID B & SUSAN E	
MORALES,RUBEN & JUDITH	
MORI,DAVION	
NEW CENTURY DOORS & BUILDING	COMPONENTS INC
NOVICK,MATTHEW & ARLENE	
O'BRIEN,EUGENE JOSEPH	
OLIVER,DWIGHT A &	OLIVER,DIANA J M
OPPENHEIM,ROY D &	PILELSKY,ELLEN B
O'STEEN,CHARLES K & ANNE M	
O'STEEN,RICHARD & JIMMIE	
OTAOLA VASQUEZ,MIGUEL ANGEL	
PADRON,GASPAR & MARIA	JORGE PADRON
PANAVELIL,THOMAS H/E	PANAVELIL,SUMAN J
PARKERSON,DEAN L & KAREN A	
PAVON,ORIOLE	
PENICK,JOHN & DOLLY M	
PEREZ,OSVALDO H/E	TRUJILLO,SANDRA AILEEN H/E
PIERRE-LOUIS,MARIE J	MARIE J PIERRE-LOUIS REV LIV TR
PINTADO,GERALD G &	VILLA,PATRICIA
PIPPING,ANGIE & JONATHAN	
PV SWR LLC	

QUINN,ROBERT	QUINN,CHRISTINA
R S ENTERPRISES LLC	
RAGHUNANDAN,JOSHUA & RAYWATEE	
RAJA,HAYDER A & ISMAT	RAJA FAM TR
RAMANATHAN,MEENA	SUBRAMANIAN,KUMAR
RAMIREZ,REGLA MARIA	MACIAS,SERAFIN
REIFF,DAVID E & JANICE R	
RENOVA,BERTHA H/E	VIDAL,RUBEN
REYNOLDS,NICHOLAS M & DEANNE W	
ROBERTS,JEAN H	
ROBERTS,MATTHEW G	
ROBERTS,VERNA LE	ROBERTS,GREGORY AARON
RODRIGUEZ,ENRIQUE & BAGLIO,LORI	PFS LAND TR
RODRIGUEZ,JOSE	RODRIGUEZ,JANINI
RODRIGUEZ,JUANITA	
RODRIGUEZ,LUIS & DHYANA	
RODRIGUEZ,MARCELINO & ARLENE	
RODRIGUEZ,RAUL A LE	SCHWARTZ,MARTHA LE
RUIZ,CRISTIAN ANDRES	MEKIC-RUIZ,GABRIJELA
SABIDO,JORGE L & MARISOL	
SAHAI,LORNA S H/E	SAMAROO,LLOYD & ELIZABETH
SANCHEZ,EDUARDO & MONICA MONTERO	
SAREDY,JUDITH ELLEN	SAREDY,JACOB JOHN JR
SCHMIDT,CRISTIAN	
SCHOLZ,STEPHEN M & VICKYE LYNN	
SCOTT,ROBERT T & SHERYL W	
SCOTT,TRACY & YVETTE	
SEEBER,FRANK D &	SEEBER,AUDREY A
SEEBER,FRANK D & AUDREY	
SHAFFER,DALE & IRENE P	
SHIRLEY,JEANETTE &	SMITH,MARK
SHISAGAHA LLC	
SIMMONS,BENJAMIN H III & TERRI M	
SLATER-KANALEY,JACQUELYN	KANALEY,SCOTT A
SMITH,MARK	
SOSA,ERIKA	
SOTO,JONATHAN B & KATHERINE J	
SOTO,MICHELLE	VASQUEZ,ANDRES E
SOUTH BROWARD DRAINAGE DISTRICT	
STRINGHAM,JOHN P JR & CHRISTINE	
SULLIVAN,RICHARD & KATHERINE	
SULSKY,DMITRY	SULSKY,NICOLE HEDI
SWIFT,PHILIP	SWIFT,ANA ROSARIO
TAYLOR,FREDERICK A & ANDREA	
TERRA RANCHES INVESTMENTS LLC	MALCOLM BUTTERS
TERRA RANCHES INVESTMENTS LLC	
TILLMAN,KALETA G	

TILLMAN,KALETA GALE
TORRES,DAVID & SOTHSOLER
UNDERHILL,WILLIAM & BRADLYN
UNIQUE RANCHES LLC
VALADKHANI,HAMID R &
VIOLA,JAMES
VIOTTI,CHRISTIANO
WAYNE,PETA GAY & REGINALD D
WORLD CLASS PROPERTIES

AMIGHI,MARIA
MARKOVA,JITKA
INVESTMENTS LLC

ADDRESS_LINE_1	CITY	STATE	ZIP
16601 SW 64 ST	SOUTHWEST RANCHES	FL	33331
440 S ANDREWS AVE	FORT LAUDERDALE	FL	33301
17177 SW 64 CT	SOUTHWEST RANCHES	FL	33331
17110 SW 62 ST	SOUTHWEST RANCHES	FL	33331
17100 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
16895 SW 59 CT	SOUTHWEST RANCHES	FL	33331
16895 SW 59 CT	SOUTHWEST RANCHES	FL	33331
16895 SW 59 CT	FORT LAUDERDALE	FL	33331
6151 SW 173 WAY	SOUTHWEST RANCHES	FL	33331
3531 NE 170 ST APT 204	NORTH MIAMI BEACH	FL	33160
16830 SW 64 ST	SOUTHWEST RANCHES	FL	33331
16850 BERKSHIRE CT	SOUTHWEST RANCHES	FL	33331
17100 SW 64 CT	SOUTHWEST RANCHES	FL	33331
16810 SW 62 ST	SOUTHWEST RANCHES	FL	33331
706 E 45 ST	HIALEAH	FL	33013
17411 SW 59 CT	SOUTHWEST RANCHES	FL	33331
6190 SW 166 AVE	SOUTHWEST RANCHES	FL	33331
17278 94 ST N	LOXAHATCHEE	FL	33470
17490 SW 58 ST	SOUTHWEST RANCHES	FL	33331
16751 SW 59 CT	SOUTHWEST RANCHES	FL	33331
17101 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
16631 SW 62 ST	SOUTHWEST RANCHES	FL	33331
115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301
1214 POLK ST	HOLLYWOOD	FL	33019
17111 SW 64 CT	SOUTHWEST RANCHES	FL	33331
17011 SW 62 CT	SOUTHWEST RANCHES	FL	33331
16931 SW 62 ST	SOUTHWEST RANCHES	FL	33331
17120 SW 62 CT	SOUTHWEST RANCHES	FL	33331
16895 SW 59 CT	SOUTHWEST RANCHES	FL	33331
16800 BERKSHIRE CT	SOUTHWEST RANCHES	FL	33331
17101 SW 62 CT	SOUTHWEST RANCHES	FL	33331
17411 SW 61 CT	SOUTHWEST RANCHES	FL	33331
4411 PINE TREE DR	MIAMI BEACH	FL	33140
17240 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
17001 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
17001 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
5910 SW 172 AVE	SOUTHWEST RANCHES	FL	33331
17101 SW 59 ST	SOUTHWEST RANCHES	FL	33331
17151 SW 62 CT	SOUTHWEST RANCHES	FL	33331
17021 SW 62 CT	SOUTHWEST RANCHES	FL	33331
17410 SW 59 CT	SOUTHWEST RANCHES	FL	33331
17015 SW 64 CT	SOUTHWEST RANCHES	FL	33331
16800 SW 62 ST	SOUTHWEST RANCHES	FL	33331
16901 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
5269 N HIATUS RD	SUNRISE	FL	33351
5950 SW 172 AVE	SOUTHWEST RANCHES	FL	33331

16731 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
16890 SW 59 CT	SOUTHWEST RANCHES	FL	33331
17101 SW 62 ST	SOUTHWEST RANCHES	FL	33331
16951 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
17050 SW 59 ST	SOUTHWEST RANCHES	FL	33331
17321 SW 58 ST	SOUTHWEST RANCHES	FL	33331
108 COLONY DR	NATCHEZ	MS	39120
16660 SW 59 CT	SOUTHWEST RANCHES	FL	33331
5910 SW 166 AVE	SOUTHWEST RANCHES	FL	33331
16790 SW 64 ST	SOUTHWEST RANCHES	FL	33331
6120 SW 173 WAY	SOUTHWEST RANCHES	FL	33331
4437 ARABIAN WAY 6-4	COOPER CITY	FL	33328
3200 N OCEAN BLVD #2908	FORT LAUDERDALE	FL	33308
17110 SW 64 CT	SOUTHWEST RANCHES	FL	33331
9100 WILSHIRE BLVD STE 1000W	BEVERLY HILLS	CA	90212
17008 SW 64 CT	SOUTHWEST RANCHES	FL	33331
2545 HUNTERS RUN WAY	WESTON	FL	33327
17221 SW 65 CT	SOUTHWEST RANCHES	FL	33331
7950 JONES BRANCH DR # 700N	MCLEAN	VA	22107
17330 SW 58 ST	SOUTHWEST RANCHES	FL	33331
16621 SW 59 CT	SOUTHWEST RANCHES	FL	33331
16740 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
17030 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
16710 BERKSHIRE CT	SOUTHWEST RANCHES	FL	33331
6010 SW 173 WAY	SOUTHWEST RANCHES	FL	33331
16750 BERKSHIRE CT	SOUTHWEST RANCHES	FL	33331
5881 SW 166 AVE	SOUTHWEST RANCHES	FL	33331
17351 SW 58 ST	SOUTHWEST RANCHES	FL	33331
16801 SW 62 ST	SOUTHWEST RANCHES	FL	33331
17150 SW 62 CT	SOUTHWEST RANCHES	FL	33331
17021 SW 62 ST	SOUTHWEST RANCHES	FL	33331
1214 POLK ST	HOLLYWOOD	FL	33019
17025 STRATFORD CT	SOUTHWEST RANCHES	FL	33331
16600 STIRLING RD	SOUTHWEST RANCHES	FL	33331
17450 SW 59 CT	SOUTHWEST RANCHES	FL	33331
2500 WESTON ROAD #404	WESTON	FL	33331
16701 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
16701 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
17430 SW 61 CT	SOUTHWEST RANCHES	FL	33331
2522 POINCIANA DR	WESTON	FL	33327
17101 SW 64 CT	SOUTHWEST RANCHES	FL	33331
16800 SW 59 CT	SOUTHWEST RANCHES	FL	33331
17001 SW 64 CT	SOUTHWEST RANCHES	FL	33331
17100 SW 59 ST	SOUTHWEST RANCHES	FL	33331
10200 NW 110 AVE #1	MEDLEY	FL	33178
17210 SW 58 ST	SOUTHWEST RANCHES	FL	33331
17025 STRATFORD CT	SOUTHWEST RANCHES	FL	33331

16901 SW 66 ST	SOUTHWEST RANCHES	FL	33331
16751 SW 64 ST	SOUTHWEST RANCHES	FL	33331
17570 SW 61 CT	SOUTHWEST RANCHES	FL	33331
16880 SW 59 CT	SOUTHWEST RANCHES	FL	33331
16700 SW 64 ST	SOUTHWEST RANCHES	FL	33331
17150 SW 59 ST	SOUTHWEST RANCHES	FL	33331
5930 SW 172 AVE	SOUTHWEST RANCHES	FL	33331
16710 SW 59 CT	SOUTHWEST RANCHES	FL	33331
13357 SW 27 ST	MIRAMAR	FL	33027
16711 SW 59 CT	SOUTHWEST RANCHES	FL	33331
2953 W CYPRESS CREEK ROAD #101	FORT LAUDERDALE	FL	33309
17130 SW 62 CT	SOUTHWEST RANCHES	FL	33331
16611 SW 62 ST	SOUTHWEST RANCHES	FL	33331
6021 SW 173 WAY	SOUTHWEST RANCHES	FL	33331
19463 NW 61 AVE	MIAMI	FL	33015
17000 SW 62 CT	SOUTHWEST RANCHES	FL	33331
11900 BISCAYNE BLVD STE 289	MIAMI	FL	33181
17550 SW 59 CT	SOUTHWEST RANCHES	FL	33331
17020 SW 64 CT	SOUTHWEST RANCHES	FL	33331
16745 BERKSHIRE CT	SOUTHWEST RANCHES	FL	33331
17031 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
16731 SW 62 ST	SOUTHWEST RANCHES	FL	33331
17341 SW 58 ST	SOUTHWEST RANCHES	FL	33331
17231 SW 65 CT	SOUTHWEST RANCHES	FL	33331
16800 SW 64 ST	SOUTHWEST RANCHES	FL	33331
5900 SW 172 AVE	SOUTHWEST RANCHES	FL	33331
16730 SW 62 ST	SOUTHWEST RANCHES	FL	33331
16830 SW 62 ST	SOUTHWEST RANCHES	FL	33331
5630 SW 54 CT	DAVIE	FL	33314
6310 SW 172 AVE	SOUTHWEST RANCHES	FL	33331
16900 SW 59 COURT	SOUTHWEST RANCHES	FL	33331
17020 SW 62 ST	SOUTHWEST RANCHES	FL	33331
17021 SW 64 CT	SOUTHWEST RANCHES	FL	33331
16900 BERKSHIRE CT	SOUTHWEST RANCHES	FL	33331
16725 SW 62 ST	SOUTHWEST RANCHES	FL	33331
17539 SW 59 CT	SOUTHWEST RANCHES	FL	33331
6118 SW 173 WAY	SOUTHWEST RANCHES	FL	33331
20423 SW 52 ST	PEMBROKE PINES	FL	33332
16801 SW 64 ST	SOUTHWEST RANCHES	FL	33331
17300 SW 59 CT	SOUTHWEST RANCHES	FL	33331
17400 SW 58 ST	SOUTHWEST RANCHES	FL	33331
16801 SW 59 CT	SOUTHWEST RANCHES	FL	33331
16910 SW 59 ST	SOUTHWEST RANCHES	FL	33331
17189 SW 64 CT	SOUTHWEST RANCHES	FL	33331
16590 SW 62 ST	SOUTHWEST RANCHES	FL	33331
17011 SW 64 CT	SOUTHWEST RANCHES	FL	33331
17431 SW 61 CT	SOUTHWEST RANCHES	FL	33331

16725 BERKSHIRE CT	SOUTHWEST RANCHES	FL	33331
17535 SW 13 ST	PEMBROKE PINES	FL	33029
16601 SW 62 ST	SOUTHWEST RANCHES	FL	33331
17010 SW 64 CT	SOUTHWEST RANCHES	FL	33331
16599 STIRLING RD	SOUTHWEST RANCHES	FL	33331
16831 SW 64 ST	SOUTHWEST RANCHES	FL	33331
16911 SW 66 ST	SOUTHWEST RANCHES	FL	33331
17430 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
16898 SW 59 CT	SOUTHWEST RANCHES	FL	33331
16730 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
16901 SW 62 ST	SOUTHWEST RANCHES	FL	33331
16811 SW 62 ST	SOUTHWEST RANCHES	FL	33331
16735 BERKSHIRE CT	SOUTHWEST RANCHES	FL	33331
17325 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
17400 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
PO BOX 278711	MIRAMAR	FL	33027
16701 SW 59 CT	SOUTHWEST RANCHES	FL	33331
1113 NW 175 AVE	PEMBROKE PINES	FL	33029
320 NE 12 AVE APT 101	HALLANDALE BEACH	FL	33009
17020 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
17431 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
16630 SW 62 ST	SOUTHWEST RANCHES	FL	33331
16640 SW 62 ST	SOUTHWEST RANCHES	FL	33331
6150 SW 173 WAY	SOUTHWEST RANCHES	FL	33331
17051 SW 59 ST	SOUTHWEST RANCHES	FL	33331
16840 SW 62 ST	SOUTHWEST RANCHES	FL	33331
16751 SW 62 ST	SOUTHWEST RANCHES	FL	33331
6211 SW 166 AVE	SOUTHWEST RANCHES	FL	33331
6211 SW 166 AVE	SOUTHWEST RANCHES	FL	33331
16930 SW 62 ST	SOUTHWEST RANCHES	FL	33331
17420 SW 61 CT	SOUTHWEST RANCHES	FL	33331
15343 SW 21 ST	MIRAMAR	FL	33027
17245 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
17300 SW 68 CT	SOUTHWEST RANCHES	FL	33331
1341 PINE AVE	ORLANDO	FL	32824
17201 SW 59 CT	SOUTHWEST RANCHES	FL	33331
17000 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
16800 SW 63 MNR	SOUTHWEST RANCHES	FL	33331
6591 SW 160 AVE	SOUTHWEST RANCHES	FL	33331
17501 SW 61 CT	SOUTHWEST RANCHES	FL	33331
17200 SW 59 CT	SOUTHWEST RANCHES	FL	33331
4581 WESTON RD #115	WESTON	FL	33331
16740 BERKSHIRE CT	SOUTHWEST RANCHES	FL	33331
16925 BERKSHIRE CT	SOUTHWEST RANCHES	FL	33331
PO BOX 330609	MIAMI	FL	33233
2665 S BAYSHORE DR # 1020	COCONUT GROVE	FL	33133
17120 SW 64 CT	SOUTHWEST RANCHES	FL	33331

17120 SW 64 CT	SOUTHWEST RANCHES	FL	33331
16631 SW 59 CT	SOUTHWEST RANCHES	FL	33331
17321 SW 59 CT	SOUTHWEST RANCHES	FL	33331
13015 SW 88 TER	MIAMI	FL	33186
380 ALEXANDRIA CIR	WESTON	FL	33326
17100 SW 62 ST	SOUTHWEST RANCHES	FL	33331
10526 SW 52 ST	COOPER CITY	FL	33328
17000 BERKSHIRE CT	SOUTHWEST RANCHES	FL	33331
17300 SW 63 MNR	SOUTHWEST RANCHES	FL	33331



Town of Southwest Ranches
13400 Griffin Road
Southwest Ranches, FL 33330-2628

(954) 434-0008 Town Hall
(954) 434-1490 Fax

Town Council
Doug McKay, *Mayor*
Gary Jablonski, *Vice Mayor*
Freddy Fisikelli, *Council Member*
Bob Hartmann, *Council Member*
Denise Schroeder, *Council Member*

Andrew D. Berns, *Town Administrator*
Keith M. Poliakoff, *JD, Town Attorney*
Russell Muniz, *Assistant Town Administrator/Town Clerk*
Martin D. Sherwood, *CPA, CGMA, CGFO, Town Financial Administrator*

COUNCIL MEMORANDUM

TO: Honorable Mayor McKay and Town Council
VIA: Andy Berns, Town Administrator
FROM: Jeff Katims
DATE: 4/4/2019
SUBJECT: Release of Declaration of Restrictive Covenants - Terra Ranches

Recommendation

Staff recommends that the Town Council pass the Resolution releasing the declaration of restrictive covenants.

Unanimous Vote of the Town Council Required?

Yes

Strategic Priorities

A. Sound Governance

Background

Terra Ranches was approved in 2013 subject to recordation of a declaration of restrictive covenants advising prospective lot purchasers that a private airstrip is adjacent to the subdivision. The declaration advised of potential aircraft noise and possible overflights.

Recently, a judge ruled that the airstrip easement is no longer valid, thereby allowing property owners to build within the former easement area, rendering the strip unusable for landing and take-off of planes. The airstrip is therefore defunct, and is no longer a legal nonconforming use under the Town's ULDC.

Accordingly, the owner of Terra Ranches requests that the Town Council release the declaration of restrictive covenants.

Fiscal Impact/Analysis

N/A

Staff Contact:

Jeff Katims, AICP, CNU-A

ATTACHMENTS:

Description	Upload Date	Type
Release of Restrictive Covenants Reso - TA Approved	4/18/2019	Resolution
Request for release	4/4/2019	Resolution

RESOLUTION NO. 2019- XXX

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, RELEASING A DECLARATION OF RESTRICTIVE COVENANTS BY TERRA RANCHES INVESTMENTS, LLC ADVISING POTENTIAL PURCHASERS OF LOTS WITHIN THE TERRA RANCHES PLAT OF AN ADJACENT AIRSTRIP; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE THEREFOR.

WHEREAS, Terra Ranches Investments, LLC ("Owner") is the owner of real property described as Terra Ranches, according to the plat thereof recorded in Plat Book 181, Page 49 of the Public Records of Broward County, Florida ("Property"); and

WHEREAS, Owner requests that the Town release a declaration of restrictive covenants recorded in OR Book 50105, Page 930 of the Broward County, Florida Public Records as Instrument # 111756683 ("Covenants"), a copy of which is attached as Exhibit "A" hereto; and

WHEREAS, the Covenants served to notify prospective purchasers of lots within the Property of an adjacent private airstrip that could be expected to produce aircraft noise and overflights; and

WHEREAS, a judicial ruling subsequently declared the runway easement to be null and void, effectively closing the airstrip and terminating its ability to operate as a lawful nonconforming use under Subsection 030-050(A) of the Town of Southwest Ranches Unified Land Development Code; and

WHEREAS, due to the closure of the airstrip, the Covenants are no longer required; and

WHEREAS, the Town Council, having considered Owner's request, submitted evidence, criteria set forth in the ULDRs, analysis and recommendations of the Town Staff, and comments from other interested parties, upon motions duly made and acted upon, approved the release of the Covenants.

NOW, THEREFORE BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA:

Section 1. Recitals. That the foregoing recital clauses are hereby ratified and confirmed as being true and correct and are hereby incorporated and made a specific part of this Resolution.

Section 2. Release. That, upon reviewing the testimony and the evidence submitted at a duly noticed public hearing held April 25, 2019, the Town Council hereby releases the Covenants, and authorizes the Mayor, Town Administrator and Town Attorney to execute any and all documents necessary to effectuate the release of Covenants pursuant to the terms contained therein.

Section 3. Effective Date. This Resolution shall become effective immediately upon adoption.

PASSED AND ADOPTED by the Town Council of the Town of Southwest

Ranches, Florida, this 25th day of April, 2019 on a motion by _____

and seconded by _____.

McKay _____
Jablonski _____
Fisikelli _____
Hartmann _____
Schroeder _____

Ayes _____
Nays _____
Absent _____
Abstaining _____

Doug McKay, Mayor

Russell Muñiz, Assistant Town Administrator/Town Clerk

Approved as to Form and Correctness:

Keith M. Poliakoff, Town Attorney

GreenspoonMarder^{LLP}

Cynthia A. Pasch, AICP
PNC Building
200 East Broward Boulevard, Suite 1800
Fort Lauderdale, Florida 33301
Direct Phone: 954.527.6266
Direct Fax: 954.333.4266
Email: cynthia.pasch@gmlaw.com

February 28, 2019

VIA EMAIL

Jeff Katims
The Mellgren Planning Group
3350 NW 53rd Street, Suite 101
Fort Lauderdale, FL 33309

Re: Terra Ranches Declaration of Restrictive Covenants

Dear Jeff:

The enclosed Declaration of Restrictive Covenants ("Declaration") was recorded as a condition of the Terra Ranches site plan approval. The purpose of the Declaration is to notify future residents of the Mac-ivor & Friends Airstrip that was operational at the time the Terra Ranches site plan was approved. The Mac-ivor & Friends Airstrip is no longer operational and on behalf of Terra Ranches Investments, LLC, we are requesting that this Declaration be released by Resolution of the Town Council in accordance with Paragraph 3 of the Declaration.

Please let me know if you need any additional information concerning this request.

Sincerely,

GREENSPOON MARDER LLP



Cynthia A. Pasch, AICP

enclosure

Boca Raton Denver Ft. Lauderdale Iselin Las Vegas Los Angeles Miami Naples
New York Orlando Phoenix Portland San Diego Tallahassee Tampa West Palm Beach

32513.0001
GM 38879307:1

**This page
intentionally left blank**



Town of Southwest Ranches
13400 Griffin Road
Southwest Ranches, FL 33330-2628

(954) 434-0008 Town Hall
(954) 434-1490 Fax

Town Council
Doug McKay, *Mayor*
Gary Jablonski, *Vice Mayor*
Freddy Fisikelli, *Council Member*
Bob Hartmann, *Council Member*
Denise Schroeder, *Council Member*

Andrew D. Berns, *Town Administrator*
Keith M. Poliakoff, *JD, Town Attorney*
Russell Muniz, *Assistant Town Administrator/Town Clerk*
Martin D. Sherwood, *CPA, CGMA, CGFO, Town Financial Administrator*

COUNCIL MEMORANDUM

TO: Honorable Mayor McKay and Town Council
VIA: Andy Berns
FROM: Jeff Katims
DATE: 4/15/2019
SUBJECT: Site Plan Modification - Menorah Gardens Mausoleum

Recommendation

Staff recommends approval.

Unanimous Vote of the Town Council Required?

Yes

Strategic Priorities

A. Sound Governance

Background

Menorah Gardens Cemetery requests approval of a site plan modification to construct a 1,249 square-foot, 16.1-foot-high mausoleum adjacent to the existing cluster of 7 mausoleum structures.

Fiscal Impact/Analysis

N/A

Staff Contact:

Jeff Katims

ATTACHMENTS:

Description	Upload Date	Type
Menorah Gardens Resolution - TA Approved	4/18/2019	Resolution
Staff report	4/15/2019	Backup Material
Mail Notice List	4/15/2019	Backup Material
Site Plan Cover Sheet with Index	4/15/2019	Exhibit
Close-In Survey	4/15/2019	Exhibit
Overall Survey	4/15/2019	Exhibit
Partial Site Plan	4/15/2019	Exhibit
Partial Site Plan	4/15/2019	Exhibit
Renderings	4/15/2019	Exhibit
Architectural Top View	4/15/2019	Exhibit
Architectural Elevations	4/15/2019	Exhibit
Tree Disposition Plan	4/15/2019	Exhibit
Landscape Plan	4/15/2019	Exhibit
Photos of Subject Site	4/15/2019	Exhibit

RESOLUTION NO. 2019-XXX

A RESOLUTION AND FINAL ORDER OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING APPLICATION NO. SP-67-18 TO AMEND THE MENORAH GARDENS SITE PLAN FOR CONSTRUCTION OF AN EIGHTH MAUSOLEUM; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, SCI Funeral Services of Florida, LLC, is the current owner ("Owner") of the property legally described as the Sharon Gardens Memorial Park, according to the plat thereof as recorded in Plat Book 84, Page 40 of the Broward County, Florida Public Records ("Property"); and

WHEREAS, Owner requests modification of the existing approved site plan to construct mausoleum measuring 16.1 feet in height and 1,249 square feet in area adjacent to the existing cluster of mausoleums; and

WHEREAS, the Town Council of the Town of Southwest Ranches, Florida ("Town Council") finds that the proposed site plan amendment complies with the requirements of the Town's Unified Land Development Code ("ULDC").

NOW, THEREFORE BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA:

Section 1. That the foregoing "WHEREAS" clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this Resolution.

Section 2. That, upon reviewing the application, analysis of the Town Staff, testimony, and the evidence submitted at a duly noticed public hearing held on April 25, 2019 the Town Council hereby approves Site Plan Modification Application No. SP-67-18.

Section 3. The Mayor, Town Administrator and Town Attorney are each authorized to execute any and all documents necessary to effectuate the intent of this Resolution.

Section 4. This Resolution shall become effective immediately upon adoption.

PASSED AND ADOPTED by the Town Council of the Town of Southwest

Ranches, Florida, this ___ day of _____, 2019, on a motion by

_____ and seconded by _____.

McKay _____
Jablonski _____
Fisikelli _____
Hartman _____
Schroeder _____

Ayes _____
Nays _____
Absent _____
Abstaining _____

Doug McKay, Mayor

ATTEST:

Russell Muniz, Assistant Town Administrator/Town Clerk

Approved as to Form and Correctness:

Keith Poliakoff, Town Attorney

**TOWN OF SOUTHWEST RANCHES
TOWN COUNCIL AGENDA REPORT**

DATE: April 25, 2019

SUBJECT: Site Plan Application SP-67-18; Menorah Gardens Cemetery

ADDRESS: 21100 Griffin Road, Southwest Ranches, FL

LOCATION: Southeast corner of Griffin Road and US 27

ZONING: CF, Community Facility

FUTURE LAND USE: Community Facilities

AGENT: Mausoleum Constructors of America

PETITIONER: Jose Gonzalez, R.A.

OWNER: SCI Funeral Services of Florida, LLC

REQUEST: Site plan modification for a 1,249 square-foot mausoleum

EXHIBITS: Staff Report, Aerial Photograph, Mail Notification Radius Map, and Mailing List.

The Petitioner requests approval of a site plan modification to construct a 1,249 square-foot, 16.1-foot-high mausoleum within the Menorah Gardens Cemetery on a grassed area located adjacent to the existing cluster of 7 mausoleum structures. The structure would be set back approximately 316 feet from the east cemetery property line and 1,400 feet south of Griffin Road. The proposed location is platted for general cemetery use.

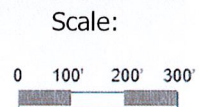
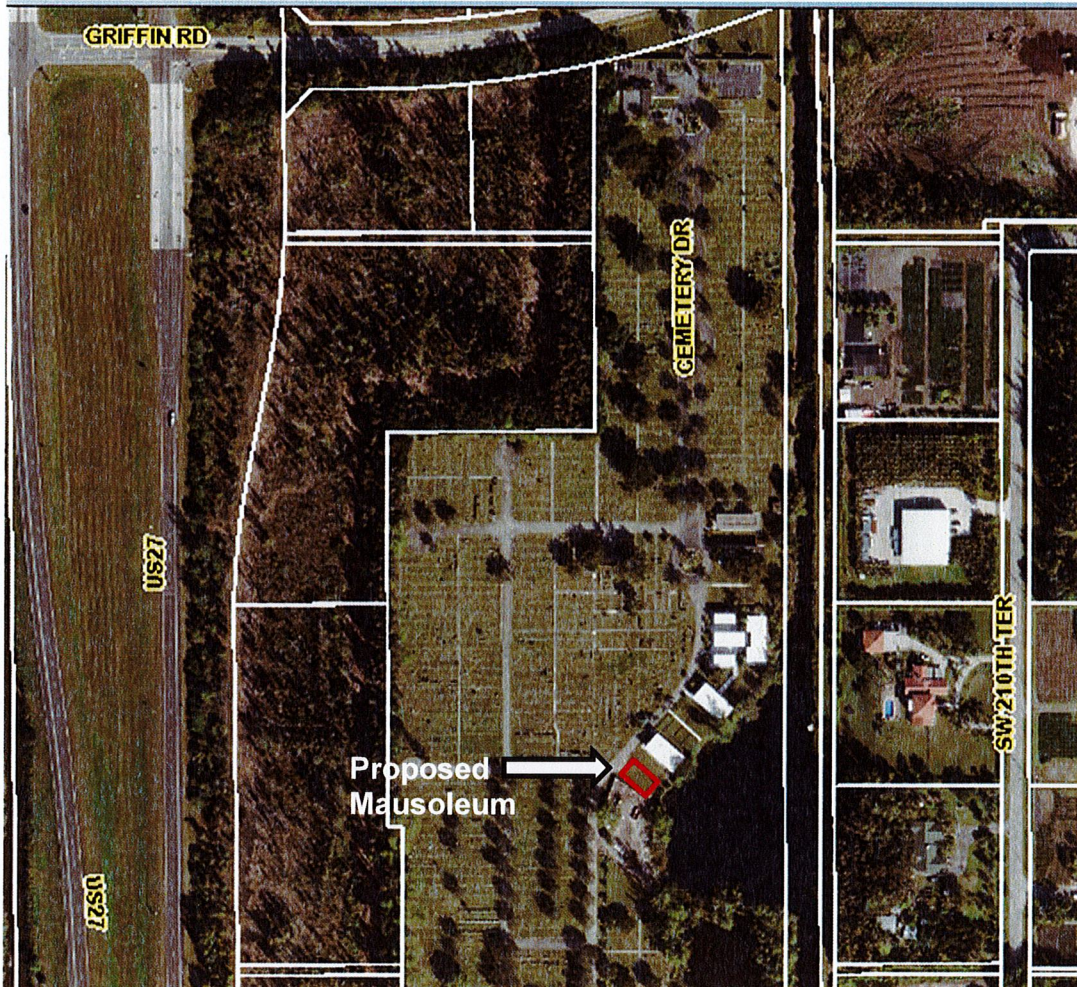
The site plan modification complies with all required setback, pervious area, plot coverage, height, landscaping, and parking requirements.

Past approvals include the 7th mausoleum in 2002, and a funeral home in 2005 that was never constructed.

STAFF RECOMMENDATION:
Staff recommends approval of SP-67-18.

**This page
intentionally left blank**

SP-67-18 AERIAL PHOTOGRAPH LOCATION MAP



**This page
intentionally left blank**

NAME_LINE_1

210 TERR LLC

AMEZQUITA,EDGAR

AMEZQUITA,EDGAR

AMKBJ PARTNERS LTD

BERGERON SW RANCHES LLC

BERGERON US 27 LLC

BERNAL,FREDDY O FAJARDO

BOYETT,MARY KATHERINE H/E

BROWARD COUNTY

CAMACHO,ISRAEL SR

CID,RIGOBERTO & AMPARO

CID,RIGOBERTO & AMPARO

CITY OF PEMBROKE PINES

CLARK,WESLEY J JR

D & G PALMS LLC

EDJAC LLC

FLORIDA DEPT OF TRANSPORTATION

GAIS,ANGELO

GATESWELL LLC

GLASS,SHARON ILENE

HARROD,DIANA J H/E

ICEBURG LAND LLC

IGLESIA CRISTIANA SENALES

IVY,THOMAS EDWARD JR & JAZMIN D

JEAN-MARIE,SOREL

JUST PERFECT LANDSCAPING INC

KHAN,HABEEB & MOONIAH

KHAN,KAMELIA

KHAN'S NURSERY INC

LAWLER,PETER JAMES LEO

MARTINEZ,RONALD & ALEXANDRA M

MODERN NATURE LLC

OLD FARM LLC

RARE FRUIT & VEGETABLE COUNCIL

ROSENDO,MANUEL

SAVITS-DANIEL TRAVEL CENTERS INC

SCI FUNERAL SERVICES OF FL LLC

SERNA,CRISTYAN

SOUTH BROWARD DRAINAGE DISTRICT

SOUTH FLORIDA WATER MANAGEMENT

TROCONIS CALDERON,JAVIER L

WARREN,AUDREY L

WEEKLEY BROS INC

WEEKLEY BROS LEASING

WEISS,JODI M

NAME_LINE_2

PINANGO,MAGALY DE JESUS ESPEJO

MARTELL,LAWRENCE J

BOARD OF COUNTY COMMISSIONERS

OFFICE OF RIGHT OF WAY

%FRITZER

HARROD,JAMES M JR

DE VIDA INC

THOMAS E & JAZMIN D IVY LIV TR

PAUL,MARIE ANGE

<Null>

HABEEB & MOONIAH KHAN REV TR

KHAN,SHELLEZA & KHAN,FARAH

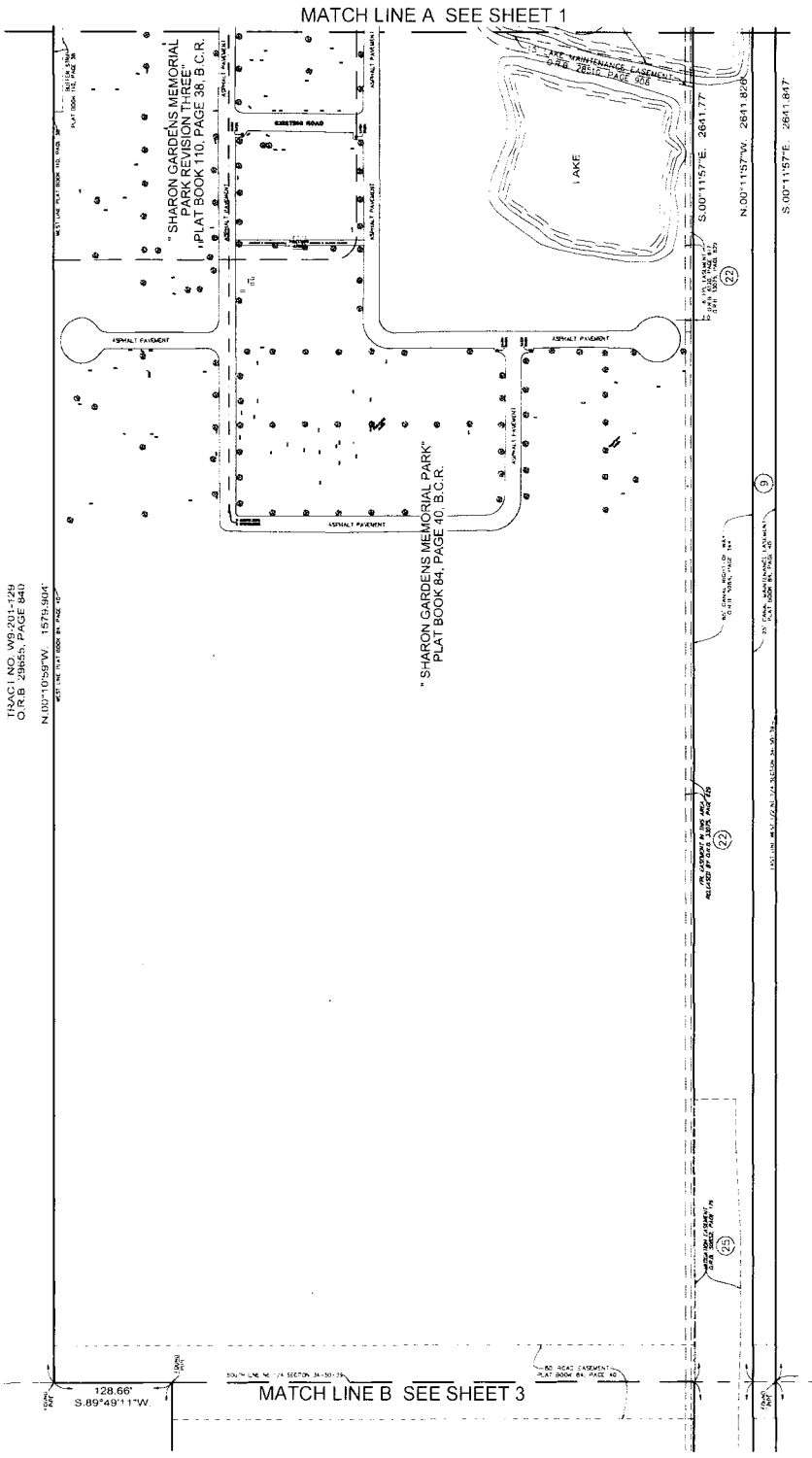
SINTES-SERNA,MARIA CAROLINA

DISTRICT

FREEMAN,PAUL

ADDRESS_LINE_1	CITY	STATE	ZIP
13200 SW 28 CT	COOPER CITY	FL	33330
780 SW 167 AVE	PEMBROKE PINES	FL	33027
4700 SW 186 AVE	SOUTHWEST RANCHES	FL	33332
7457 PARK LANE	LAKE WORTH	FL	33449
19612 SW 69 PL	FORT LAUDERDALE	FL	33332
19612 SW 69 PL	PEMBROKE PINES	FL	33332
9751 E BAY HARBOR DR #801	BAY HARBOR ISLANDS	FL	33154
5380 SW 208 LANE	SOUTHWEST RANCHES	FL	33332
115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301
20521 SW 54 PL	FORT LAUDERDALE	FL	33332
19910 NW 8 ST	PEMBROKE PINES	FL	33029
5130 SW 210 TER	SOUTHWEST RANCHES	FL	33332
601 CITY CENTER WAY	PEMBROKE PINES	FL	33025
20720 SW 54 PL	SOUTHWEST RANCHES	FL	33332
14501 W SUNRISE BLVD	SUNRISE	FL	33323
15200 TATENSHALL TRL	SOUTHWEST RANCHES	FL	33331
3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309
5200 SW 210 TER	SOUTHWEST RANCHES	FL	33332
PO BOX 8332	CORAL SPRINGS	FL	33075
6101 US HWY 27	SOUTHWEST RANCHES	FL	33332
5320 SW 210 TER	FORT LAUDERDALE	FL	33332
14720 JOCKEY CIR S	DAVIE	FL	33330
20850 GRIFFIN RD	SW RANCHES	FL	33332
5701 SW 210 TER	SOUTHWEST RANCHES	FL	33332
5130 SW 208 LN	SOUTHWEST RANCHES	FL	33332
5345 SW 210 TER	SOUTHWEST RANCHES	FL	33332
5425 SW 210 TER	SOUTHWEST RANCHES	FL	33332
12309 ABBERTON CT	ORLANDO	FL	32837
5425 SW 210 TER	SOUTHWEST RANCHES	FL	33332
20950 SW 54 PL	SOUTHWEST RANCHES	FL	33332
5803 SW 210 TER	SOUTHWEST RANCHES	FL	33332
5001 SW 210 TER	SOUTHWEST RANCHES	FL	33332
18701 NW 3 ST	PEMBROKE PINES	FL	33029
5105 SW 208 LN	SOUTHWEST RANCHES	FL	33332
5121 SW 210 TER	SOUTHWEST RANCHES	FL	33332
4690 US 27 HWY	WESTON	FL	33332
1929 ALLEN PKWY	HOUSTON	TX	77019
5120 SW 208 LN	PEMBROKE PINES	FL	33332
6591 SW 160 AVE	SOUTHWEST RANCHES	FL	33331
PO BOX 24680	WEST PALM BEACH	FL	33416
855 NW 147 AVE	HOLLYWOOD	FL	33027
5131 SW 210 TER	SOUTHWEST RANCHES	FL	33332
20701 STIRLING ROAD	PEMBROKE PINES	FL	33332
20701 STIRLING ROAD	SOUTHWEST RANCHES	FL	33332
200 NE 14 AVE APT 15	FORT LAUDERDALE	FL	33301

TRAC. I NO. W9-201-124
 O R B - 28855, PAGE 840
 N. 00°10'58" W. 1878.5045'



MATCH LINE A SEE SHEET 1

MATCH LINE B SEE SHEET 3

SHEET 2 OF 4

THIS DOCUMENT IS NEITHER A FINAL NOR COMPLETE SURVEY WITHOUT SHEETS 1 THROUGH 4 INCLUSIVE

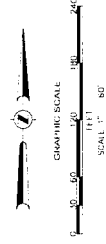
MENORAH GARDENS
 2110 GRIFFIN ROAD
 DOWD CITY, SOUTHWEST FLORIDA

BOUNDARY AND TOPOGRAPHIC SURVEY

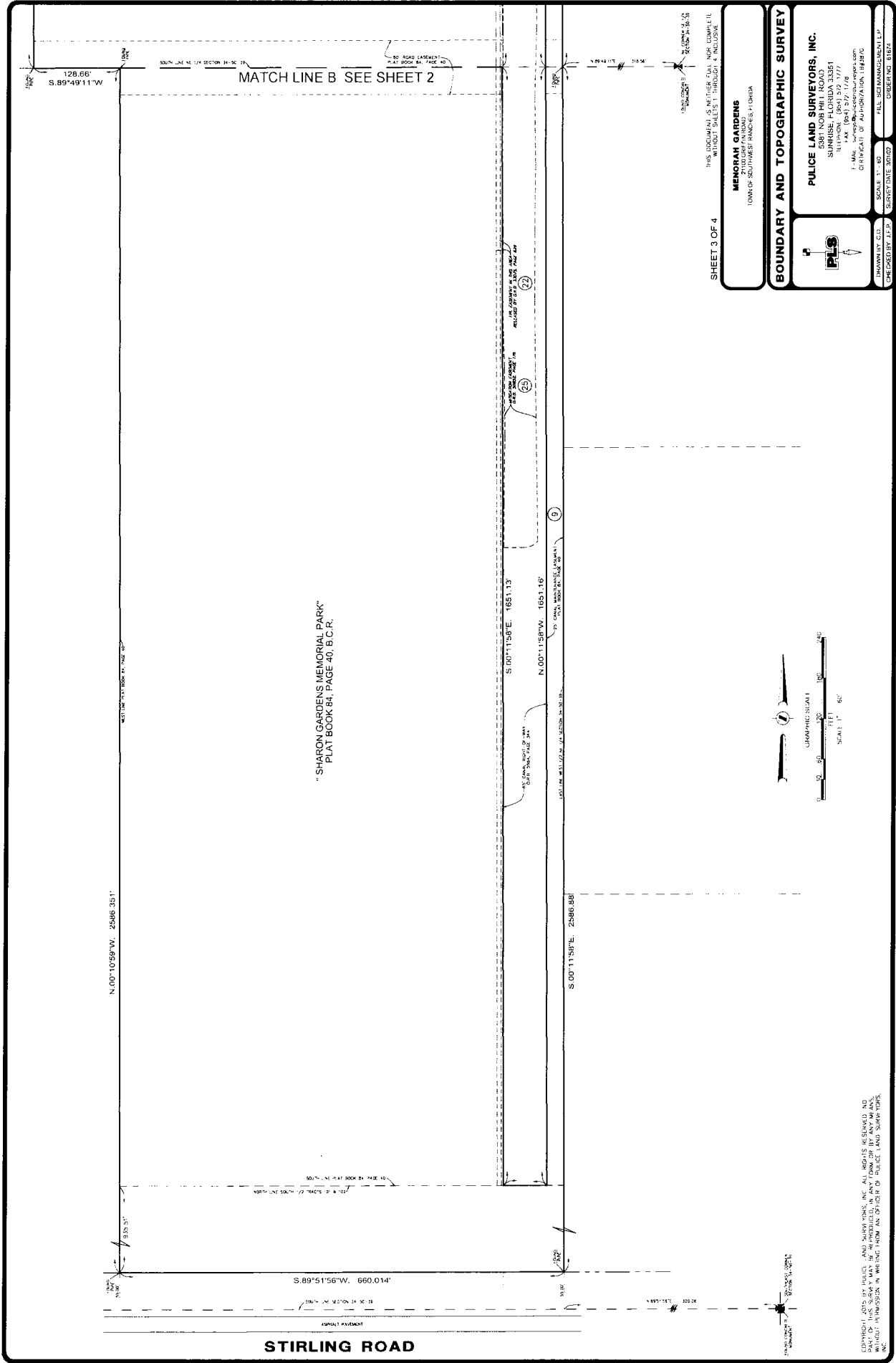
PULICE LAND SURVEYORS, INC.
 5881 NOR HILL ROAD
 SUITE 100
 TALLAHASSEE, FLORIDA 32310
 TEL: (904) 577-1778
 FAX: (904) 577-1778
 CONTRIBUTOR: POLICE LAND SURVEYORS, INC.
 DATE: 04/20/2011

PLS

DRAWN BY: J.P.P.
 SCALE: 1" = 60'
 CHECKED BY: J.P.P.
 SURVEY DATE: 2011
 CDR: J.P.P.
 CDR: J.P.P.



COPYRIGHT 2011 BY PULICE AND SURVEYORS, INC. ALL RIGHTS RESERVED. NO PART OF THIS SURVEY MAY BE REPRODUCED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF PULICE LAND SURVEYORS, INC.



MATCH LINE B SEE SHEET 2

SHARON GARDENS MEMORIAL PARK
PLAT BOOK 84, PAGE 40, B.C.R.

SHEET 3 OF 4

THIS DOCUMENT IS VALID ONLY WHEN COMPLETE
WITHOUT SHEETS 1 THROUGH 4 INCLOSURE

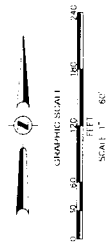
MEMORIAL GARDENS
TOWN OF SOUTHWEST FRANCHISE, FLORIDA

BOUNDARY AND TOPOGRAPHIC SURVEY

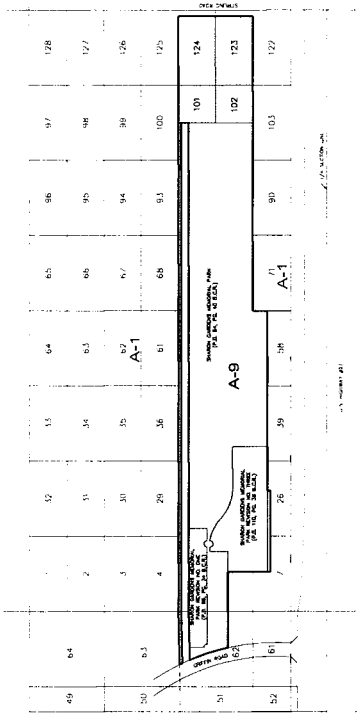


POLICE LAND SURVEYORS, INC.
5581 N.W. 8th ROAD
SUITE 100
MULHOLLAND, FLORIDA 33157
PHONE: (305) 277-1177
FAX: (305) 277-1178
WWW.PLSURVEYORS.COM
CORPORATE OFFICE: APOBONAVILLE, FLORIDA

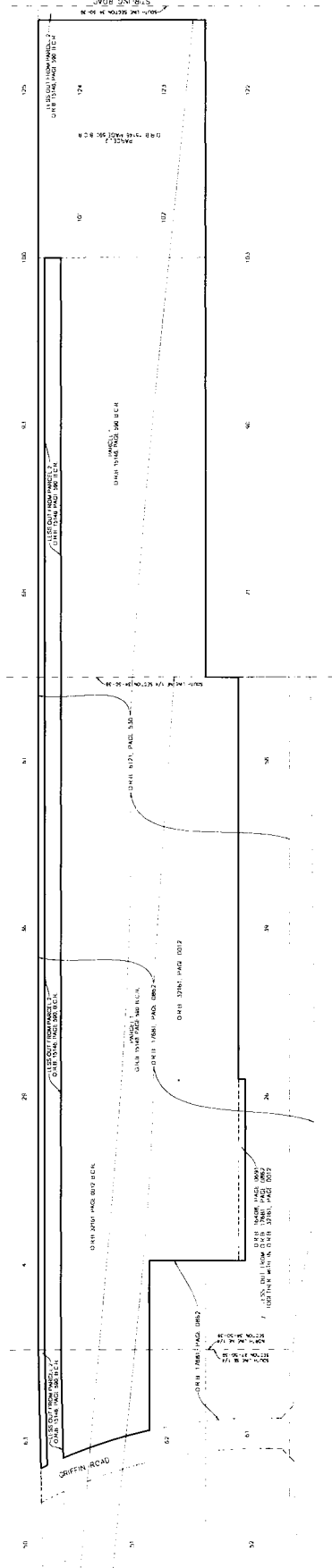
SCALE: 1" = 60'
SURREYMAN: JEFF
FILE: SGMEMORIAL.PLS



CONVEYANCE OF THIS SURVEY AND SURVEYORS, INC. ALL RIGHTS RESERVED. NO
PART OF THIS SURVEY MAY BE REPRODUCED, IN ANY FORM OR BY ANY MEANS,
WITHOUT PERMISSION IN WRITING FROM AN OFFICER OF POLICE LAND SURVEYORS,
INC.



LOCATION MAP
(NOT TO SCALE)



SHEET 4 OF 4

THIS DOCUMENT IS NEITHER VALID NOR COMPLETE WITHOUT SHEETS 1 THROUGH 3 INCLUSIVE

MEMORAH GARDENS
TOWN OF SOUTHWEST INDIANAS FLORIDA

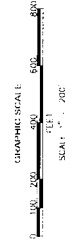
BOUNDARY AND TOPOGRAPHIC SURVEY



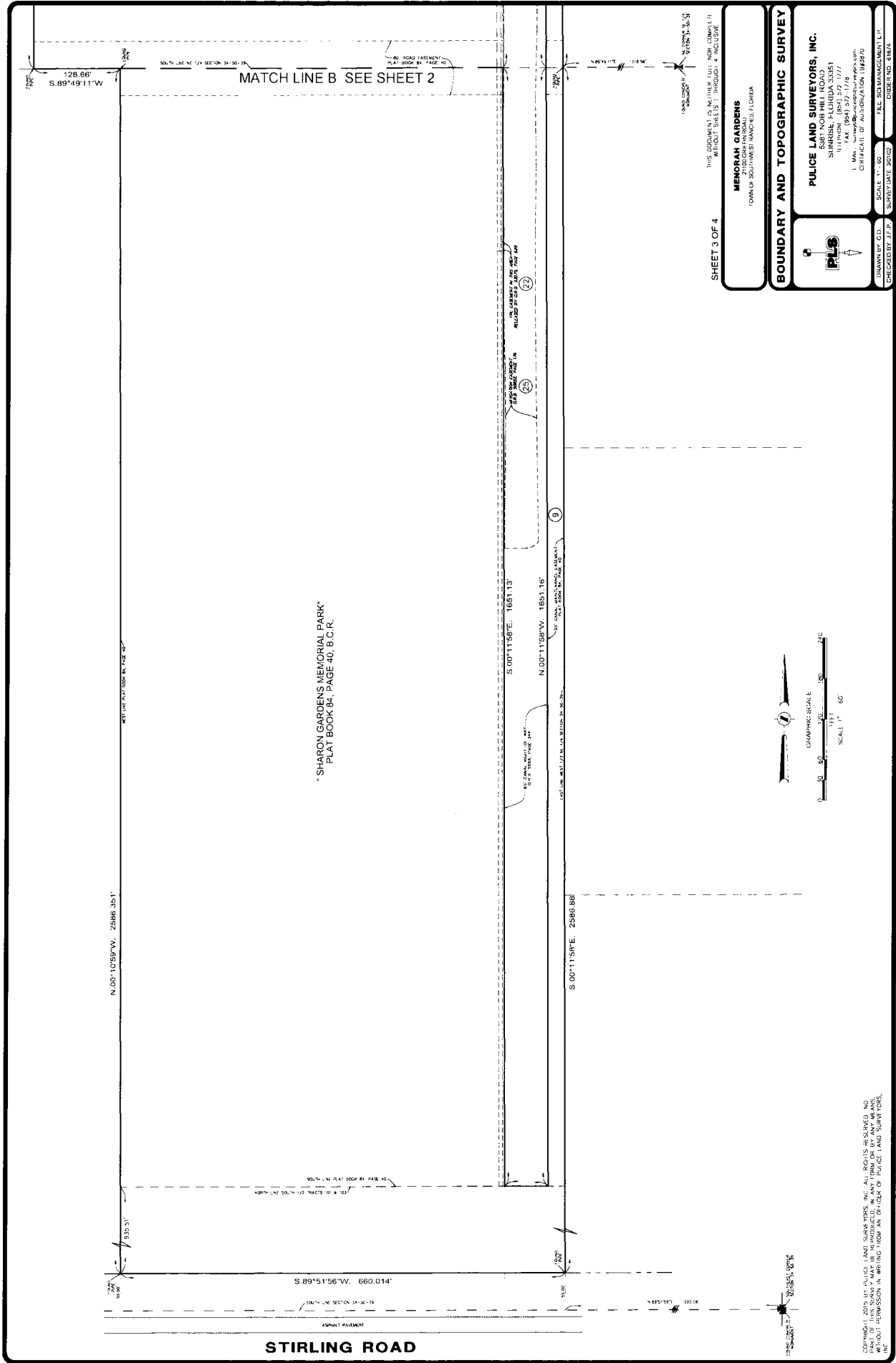
POLICE LAND SURVEYORS, INC.
5384 NORHILL ROAD
SUITE 100
MILWAUKEE, WI 53219
TEL: (414) 257-1775
FAX: (414) 257-1776
E-MAIL: POLICE@PLS.SURV.COM

DRAWN BY: C.D.S.
CHECKED BY: J.F.P.
SCALE: 1" = 200'
SURVEY DATE: 3/20/20

FILE SCHEMATIC: 3020
ORDERING: 3020



CONTRACTOR'S NOTE: THIS SURVEY WAS CONDUCTED FOR THE TOWN OF SOUTHWEST INDIANAS FLORIDA. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACT OF 1978 AND THE SURVEYING REGULATIONS OF THE BOARD OF SURVEYING AND MAPPING. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACT OF 1978 AND THE SURVEYING REGULATIONS OF THE BOARD OF SURVEYING AND MAPPING. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACT OF 1978 AND THE SURVEYING REGULATIONS OF THE BOARD OF SURVEYING AND MAPPING.



MATCH LINE B SEE SHEET 2

"SHARON GARDENS MEMORIAL PARK"
PLAT BOOK 84, PAGE 40, B.C.R.

S.89°51'56"W, 660.014'

STIRLING ROAD

SHEET 3 OF 4

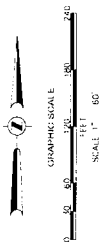
THIS DOCUMENT IS IN FULL COMPLIANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT AND DOES NOT CONSTITUTE A PROFESSIONAL ENGINEERING DESIGN.

MENDHAM GARDENS
TOWN OF SOUTHWEST FLORIDA

BOUNDARY AND TOPOGRAPHIC SURVEY

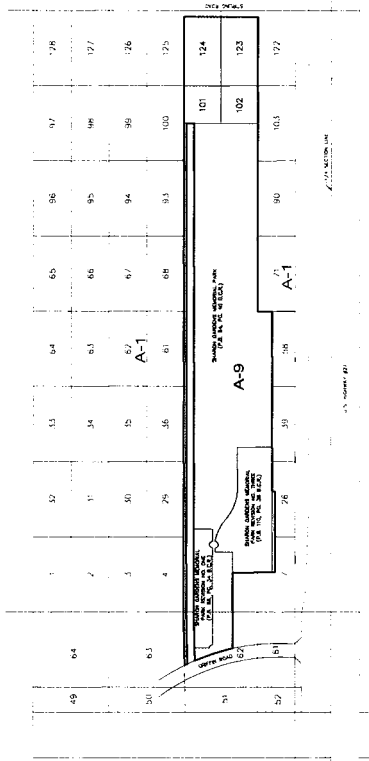


PULSE LAND SURVEYORS, INC.
5581 NORBELL ROAD
SUITE 100
MIRAMONTE, FLORIDA 34651
PHONE: (888) 227-7777
FAX: (904) 277-1778
WWW.PULSELANDSURVEYORS.COM
MEMBER OF ASSOCIATION OF PROFESSIONAL SURVEYORS

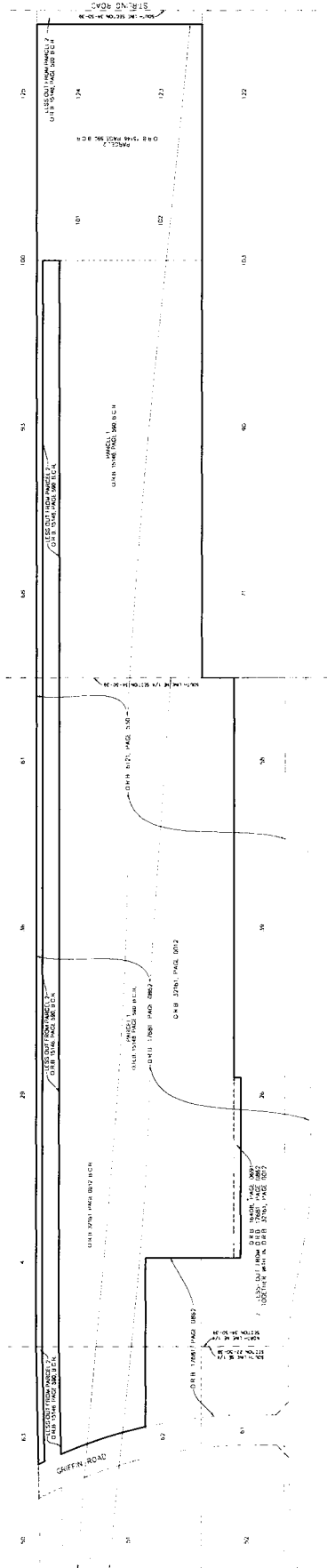


DRAWN BY: C.D. CHECKED BY: J.P.P. SURVEY DATE: 2022 SURVEY NO.: 1874

THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT. THE SURVEYOR HAS REVIEWED THE PLAT AND FOUND IT TO BE IN ACCORDANCE WITH THE ACT. THE SURVEYOR HAS REVIEWED THE PLAT AND FOUND IT TO BE IN ACCORDANCE WITH THE ACT. THE SURVEYOR HAS REVIEWED THE PLAT AND FOUND IT TO BE IN ACCORDANCE WITH THE ACT.



LOCATION MAP (NOT TO SCALE)



SHEET 4 OF 4

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 THROUGH 4 INCLUSIVE

MEMORAN GORDENS
 2100 GOLF COURSE ROAD
 SUNRISE, FLORIDA 33323
 TEL: (954) 572-1778
 FAX: (954) 572-1778
 E-MAIL: GORDENS@MEMORAN.COM

POLICE LAND SURVEYORS, INC.
 5581 NOR HILL ROAD
 SUNRISE, FLORIDA 33351
 TEL: (954) 572-1778
 FAX: (954) 572-1778
 E-MAIL: POLICE@POLICE-SURVEYORS.COM

DRAWN BY: C.D.
 CHECKED BY: J.F.P.
 SCALE: 1" = 200'
 SURVEY DATE: 03/07
 FILE NO: 08182

UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF. THIS SURVEY MAY BE REPRODUCED IN ANY FORM OR BY ANY MEANS, WITHOUT PERMISSION IN WRITING FROM AN OFFICER OF POLICE LAND SURVEYORS.

JOSB GONZALEZ, A.I.A.
 ARCHITECT
 415 N.E. 11451
 Miami, FL 33141
 Phone: 305.891.3009
 Fax: 305.891.3009
 email: jggonzalez@aol.com

PROPOSED MAUSOLEUM BUILDING FOR MENORAH GARDENS AT
 2100 Griffin Road
 South Miami Beach, Florida

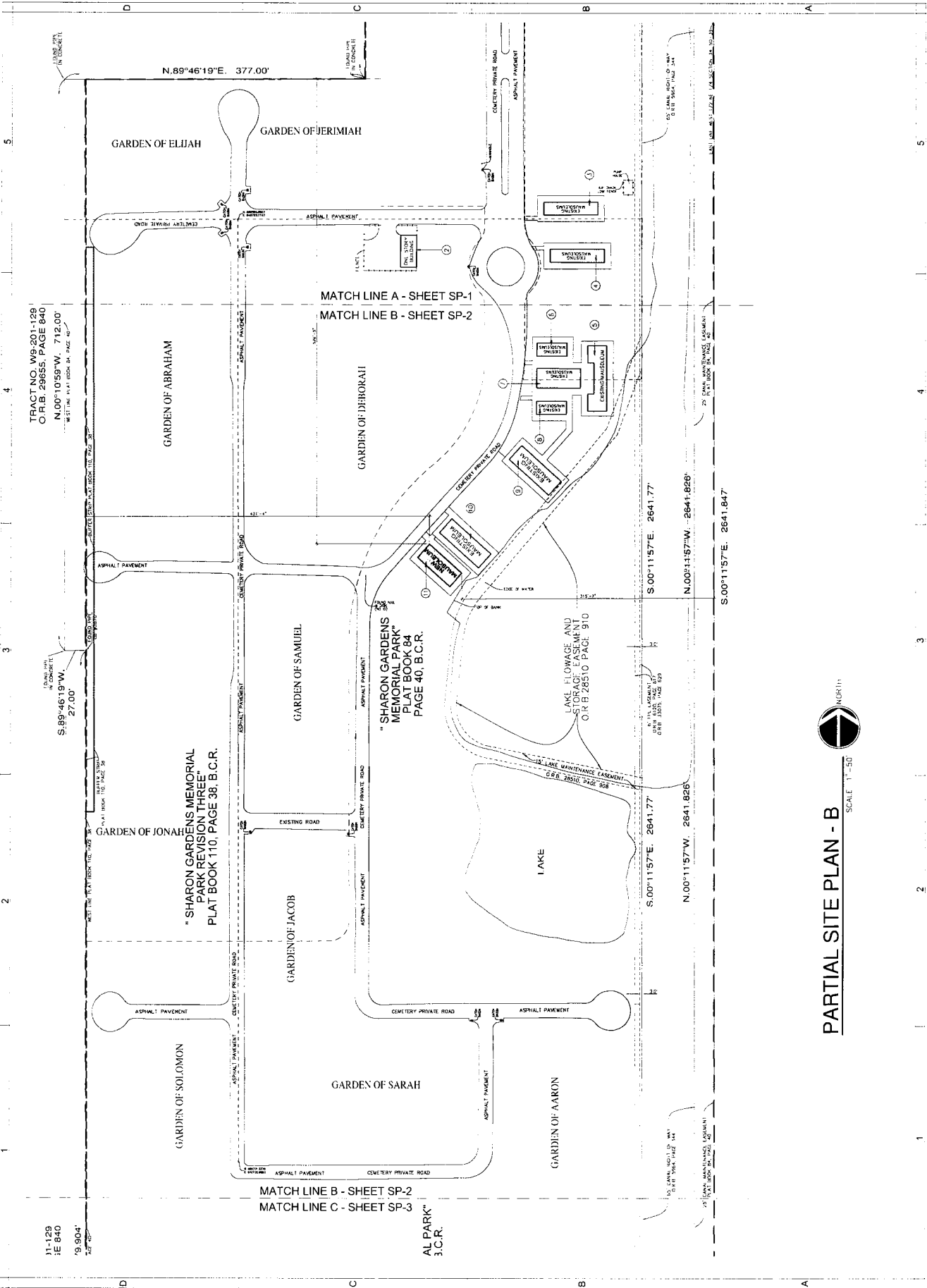
PROJECT:
 AS SHOWN
 SCALE:
 CONSULTANT:

JOB NO. 2011.02
 DATE:

REVISIONS:
 NO. DESCRIPTION

19-10-BE
 DATE:

SP-2
 DRAWING





JOSE GONZALEZ, A.I.A.
 1945 0008817
 ARCHITECT
 415 N.W. 114th St.
 Miami, FL 33151
 Phone: 305.897.2038
 Fax: 305.897.8577
 e-mail: jg@josegonzalez.com

PROPOSED MAUSOLEUM BUILDING FOR MENORAH GARDENS AT AT
 21100 Griffin Road
 Southwest Ranches, Florida

PROJECT

AS SHOWN
 SCALE

CONSULTANT

JOSE GONZALEZ, A.I.A.
 ARCHITECT

REVISIONS	DATE	DESCRIPTION

17/10/18
 DATE

V-1
 DRAWING

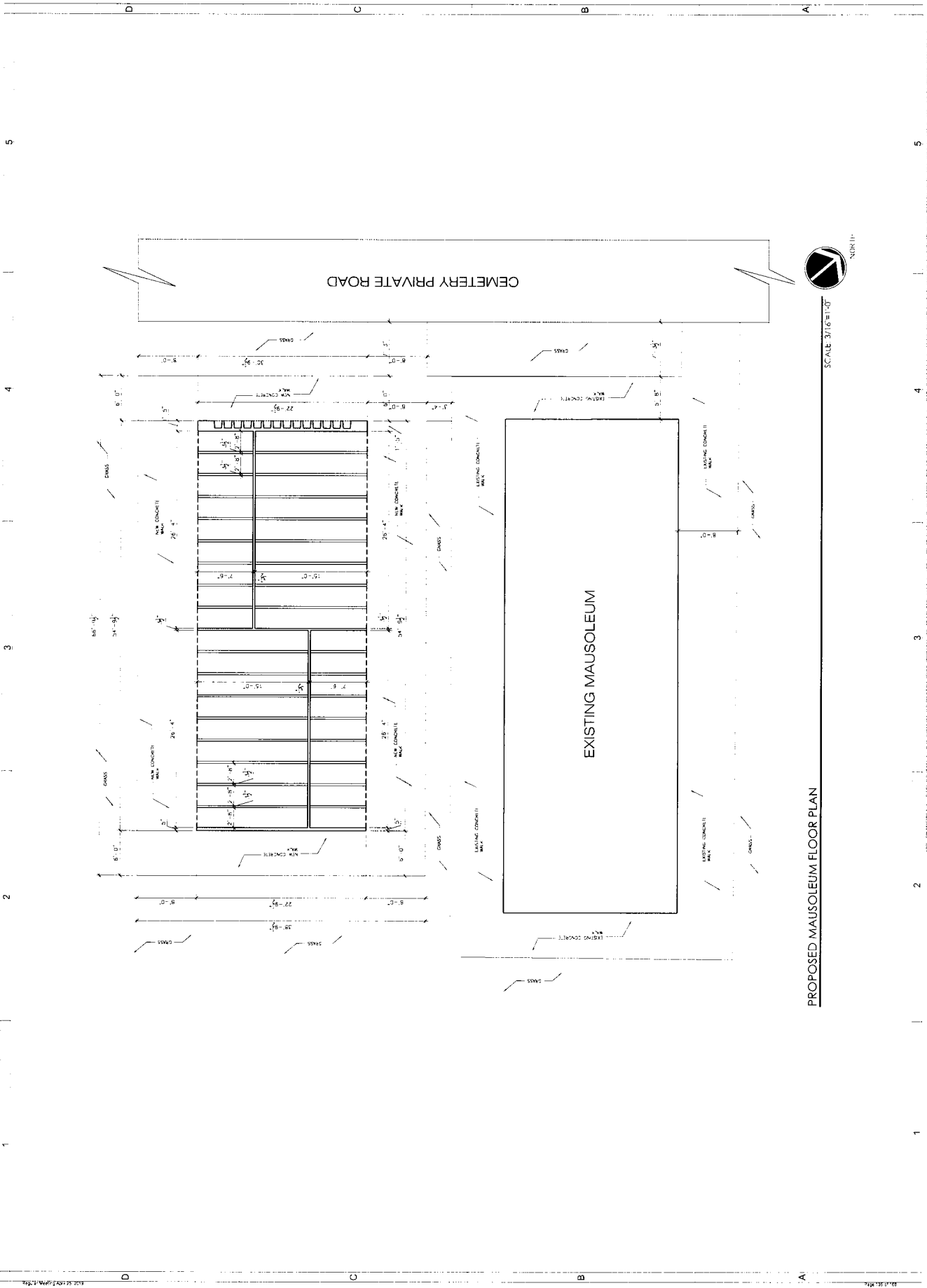


NORTH VIEW

MAUSOLEUM 3D VIEW

NOTE: CONTRACTOR SHALL DESIGN AND VERIFY ALL PLANS, MATERIALS AND CONSTRUCTION BEFORE PROCEEDING WITH CONSTRUCTION AND SHALL NOTIFY JOSE GONZALEZ, A.I.A. WITHIN 48 HOURS OF ANY DISCREPANCIES. JOSE GONZALEZ, A.I.A. AND SCALE DRAWINGS ARE THE PROPERTY OF JOSE GONZALEZ, A.I.A. AND SHALL NOT BE USED WITHOUT EXPRESS WRITTEN CONSENT.

<p style="text-align: center;">JOSÉ GONZÁLEZ, A.A. VIA 3008877 ARQUITECTURA Y CONSTRUCCIÓN S.A.S. - 111453 ABOGADO N. 43143 Phone: 300.891.3038 Fax: 300.749.8577 e-mail: jg@jgconstruccion.com</p>	<p style="text-align: center;">PROPOSED MAUSOLEUM BUILDING FOR MENORAH GARDENS AT 21100 Griffin Road Southwest Ranches Florida</p>	PROJECT ALTERNATE SCALE	CONSULTANT	JOSÉ GONZÁLEZ, R.A. ARCHT.	SHEETS DATE DESCRIPTION	DATE DATE DATE	DATE DATE DATE	A-1 DRAWING
--	--	-------------------------------	------------	-------------------------------	-------------------------------	----------------------	----------------------	-----------------------



1 2 3 4 5

JOSE GONZALEZ, A.I.A.
 04/008817
 ARCHITECTURE
 PLANNING & CONSTRUCTION
 415 N.E. 114 ST
 MIAMI, FL 33161
 PHONE: 305.891.3029
 EMAIL: JOGON@JGONZALEZ.COM

PROPOSED MAUSOLEUM BUILDING FOR MENORAH GARNENS AT AT
 21100 Collins Road
 South Miami Beach, Florida

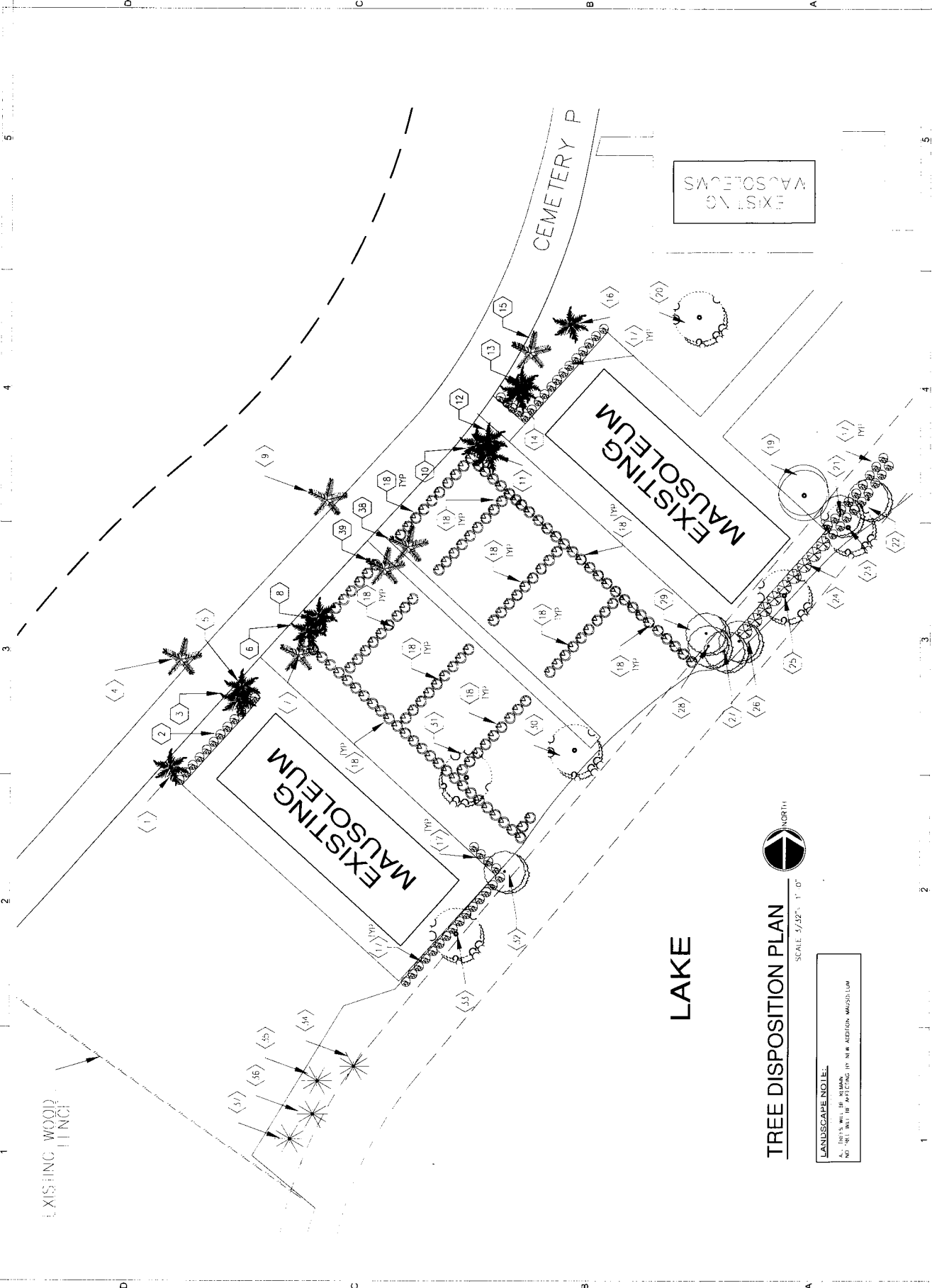
PROJ. NO.:
 AS BUILT:
 SCALE:

CONSULTANT:

JOSE GONZALEZ, A.I.A.
 DATE:

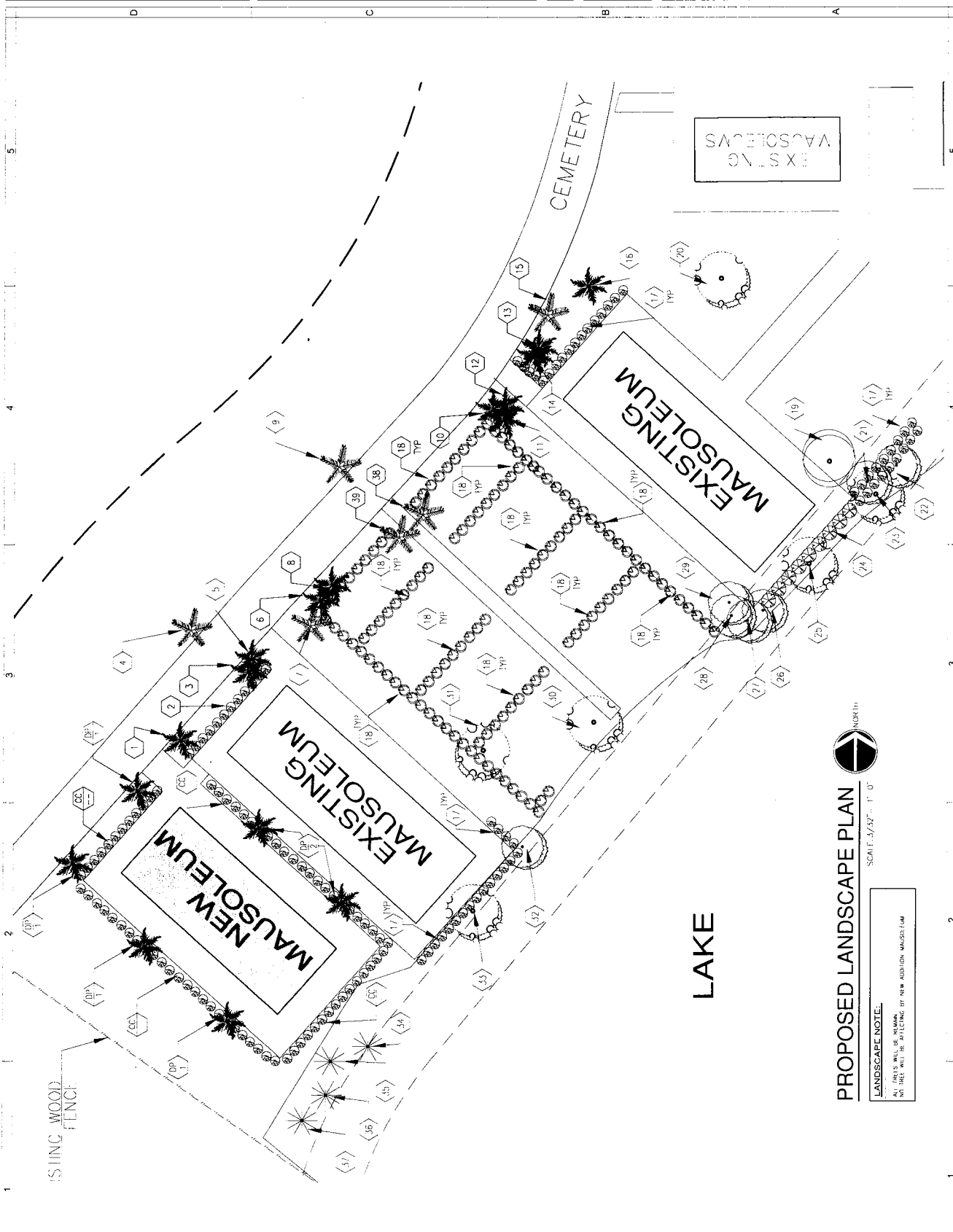
DATE	DESCRIPTION

12.0.18
 DATE:
L-2
 DRAWING:



TREE DISPOSITION PLAN
 SCALE: 5/32" = 1' 0"

LANDSCAPE NOTE:
 1. ALL TREES TO BE REMOVED OR PRUNED TO CLEAR THE PROPOSED MAUSOLEUM BUILDING.
 2. ALL TREES TO BE REPLACED WITH NEW TREES OF EQUAL OR GREATER SIZE AND SPECIES.



1 2 3 4 5

A B C D

JOSE GONZALEZ, A.I.A.
 ARCHITECT
 JOSE GONZALEZ ARCHITECTS
 415 N.E. 114th St.
 Miami, FL 33161
 Phone: 305.991.3036
 Fax: 305.991.3037
 Email: jg@jgonzales.com

PROPOSED MAUSOLEUM BUILDING FOR MENORAH GARDENS AT
 2100 Collins Road
 South Beach, Florida

PROJECT:

ARCHITECT:

SCALE:

CONSULTING:

JOSE GONZALEZ, A.I.A.
 10/15/2015

DATE	DESCRIPTION

10/15/2015
 DATE:

L-3
 DRAWING

PROPOSED LANDSCAPE PLAN
 SCALE: 1/4" = 1' - 0"
 NORTH

LANDSCAPE NOTE:
 ALL TREES WILL BE MAINTAINED
 AND SHALL NOT BE AFFECTED BY NEW MAUSOLEUM

THIS DRAWING IS THE PROPERTY OF JOSE GONZALEZ ARCHITECTS, A.I.A. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR REPRODUCTION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF JOSE GONZALEZ ARCHITECTS, A.I.A. IS STRICTLY PROHIBITED. CONTACT US AT 305.991.3036 FOR MORE INFORMATION.

**This page
intentionally left blank**



Town of Southwest Ranches
13400 Griffin Road
Southwest Ranches, FL 33330-2628

(954) 434-0008 Town Hall
(954) 434-1490 Fax

Town Council
Doug McKay, *Mayor*
Gary Jablonski, *Vice Mayor*
Freddy Fisikelli, *Council Member*
Bob Hartmann, *Council Member*
Denise Schroeder, *Council Member*

Andrew D. Berns, *Town Administrator*
Keith M. Poliakoff, *JD, Town Attorney*
Russell Muniz, *Assistant Town Administrator/Town Clerk*
Martin D. Sherwood, *CPA, CGMA, CGFO, Town Financial Administrator*

COUNCIL MEMORANDUM

TO: Honorable Mayor McKay and Town Council
VIA: Andrew D. Berns, Town Administrator
FROM: Russell Muñiz, Assistant Town Administrator/Town Clerk
DATE: 4/25/2019
SUBJECT: Gas Tax Agreements

Recommendation

Town Council consideration of a motion to approve the resolution incorporating two 2019 amendments to Broward County Interlocal Agreements (Exhibit 1, and 2) for the distribution of Fiscal Year 2020 gas tax revenue.

Unanimous Vote of the Town Council Required?

No

Strategic Priorities

- A. Sound Governance
- D. Improved Infrastructure

Background

Currently, the Town of Southwest Ranches receives gas tax revenue via three Interlocal Agreements with Broward County, which collects gas tax, on behalf of the municipalities, from the sale of every gallon of motor fuel and special fuel sold in Broward County. These proceeds are then redistributed to all participating municipalities within the County based upon individual municipal populations. Each of these agreements provides that the rates for redistribution of proceeds shall be adjusted annually based upon the population figures listed in the current "Florida Estimates of Population" as published by the Bureau of Economics and Business Research, Population Division, University of Florida. Due to the renewal of the six cent local option gas tax in 2018 for a 30 year renewal period no execution of that agreement

is necessary. The Town must now execute two interlocal agreements annually for the distribution of the "additional" and "transit gas tax" agreements.

The two interlocal Agreements and amendments described below pertain to the second local option gas tax representing five cents in total gas tax revenues:

1. The "additional" local option gas tax agreement adopted in 1994 now provides for Cities to receive 51.27% of three cents of five cents in total gas tax revenue. The Cities' share of this gas tax has increased over the years due to annexations, however, there were no annexations of populated areas effective September 2013 so the Cities share of the three cents of gas tax will remain the same as last year. As a result, this amendment adjusts each City's percentage share of the 51.27% based on updated population figures.

2. The "transit gas tax" agreement adopted in 2001 provides for Cities to receive 26% of the proceeds of one cent of five cents in total gas tax revenue. This amendment includes adjustments to each City's percentage share based on updated population figures.

This resolution and the attached Interlocal Agreements serve to continue this important revenue stream to the Town.

Fiscal Impact/Analysis

Below are the projected and historical percentage rates calculated by the County based upon the Town's population:

	<u>Fiscal Year 2018-2019</u>	<u>Fiscal Year 2019-2020</u>
Estimated Town Population	7,614	7,706
Broward County Population	1,873,970	1,897,976
Additional Local Option Gas Tax	0.209993%	0.209834%
Transit Local Option Gas Tax	0.106492%	0.106411%

The Town's estimated population increased to 7,706 from 7,614. Accordingly, the Town's estimated population percentage increase of 1.21% was less than the overall Broward County municipal population percentage increase of 1.28%. Therefore, the Town's shared percentage decreased on a year to year basis in accordance with the above table. Additionally, annual proceeds vary based on actual gasoline consumption within Broward County. However, assuming no change in consumption, it is estimated that gas taxes will decrease approximately \$9 and \$5 in Fiscal Year 2019-2020 for the additional, and transit local option gas taxes, respectively.

Staff Contact:

Russell Muñiz, Assistant Town Administrator/Town Council
Martin Sherwood, Town Financial Administrator

ATTACHMENTS:

Description	Upload Date	Type
Gas Tax Agreement Reso - TA Approved	4/17/2019	Resolution
Gas Tax Amendment Exhibit 1	4/17/2019	Agreement
Gas Tax Amendment Exhibit 2	4/17/2019	Agreement
Gas Tax Memo from County	4/11/2019	Backup Material

**This page
intentionally left blank**

RESOLUTION NO. 2019 -

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING THE 2019 AMENDMENTS TO THE TWO (2) INTERLOCAL AGREEMENTS WITH BROWARD COUNTY PROVIDING FOR THE DIVISION AND DISTRIBUTION OF THE PROCEEDS OF THE BROWARD COUNTY FIFTH-CENT LOCAL OPTION GAS TAX, AND THE ADDITIONAL THIRD-CENT LOCAL OPTION GAS TAX; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR AND TOWN ATTORNEY TO EXECUTE SAID AGREEMENTS; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Broward County Commission enacted Ordinance #88-27 on June 14, 1988 to extend the levy of the six-cent local option gas tax upon every gallon of motor fuel and special fuel sold in Broward County; and

WHEREAS, the Broward County Commission enacted Ordinance #2000-25 on June 13, 2000 to extend the levy of the fifth-cent local option gas tax upon every gallon of motor fuel and special fuel sold in Broward County; and

WHEREAS, upon the creation of the municipality, the Town entered into an agreement with Broward County establishing its third-cent local option gas tax; and

WHEREAS, all three (3) Agreements provide that the population figures, which are the basis for the revenue, be adjusted annually based on the current "Florida Estimates of Population" as published by the Bureau of Economics and Business Research, Population Division, University of Florida; and

WHEREAS, on March 22, 2018 pursuant to Resolution 2018-045 the Town approved the interlocal agreement with Broward County for 2018-19 distribution of the Town's share of the proceeds from the sixth-cent local option gas tax; and

WHEREAS, this Agreement will provide funding for the 2019-2020 fiscal year through the distribution of the Town's share of the proceeds from the fifth-cent local option gas tax in the amount of .106411% of the incorporated portion; and

WHEREAS, this Agreement will provide funding for the 2019-20 fiscal year through the distribution of the Town's share of the proceeds from the third-cent local option gas tax for transit in the amount of .209834% of the incorporated portion; and

WHEREAS, Section 336.025 (1)(a), Florida Statutes, requires the majority of the population of the incorporated areas within the County to approve an Interlocal Agreement in support of the distribution and methodology for the distribution to continue in its present form.

NOW, THEREFORE, BE IT RESOLVED, by the Town Council of the Town of Southwest Ranches, Florida:

Section 1: Recitals. The above-referenced recitals are true and correct and are incorporated herein by reference.

Section 2: The Town Council hereby approves the Interlocal Agreement with Broward County, substantially in the form of the Agreements attached as Exhibit "1," and "2," providing for the division and distribution of the proceeds of the local option gas tax.

Section 3: Authorization. The Mayor, Town Administrator and Town Attorney are hereby authorized to enter into the Interlocal Agreement with Broward County, substantially in the form of the Agreements attached as Exhibit "1," and "2," providing for the division and distribution of the proceeds of the local option gas tax and to make such modifications, additions and/or deletions which they deem necessary and proper to effectuate the intent of this Resolution.

Section 4: Effective Date. This Resolution shall become effective immediately upon its adoption.

PASSED AND ADOPTED by the Town Council of the Town of Southwest

Ranches, Florida, this 25th day of April, 2019 on a motion by

_____ and seconded by _____.

McKay	_____	Ayes	_____
Jablonski	_____	Nays	_____
Fisikelli	_____	Absent	_____
Hartmann	_____		
Schroeder	_____		

[Signatures on Following Page]

Doug McKay, Mayor

ATTEST:

Russell Muñiz, Assistant Town Administrator/Town Clerk

Approved as to Form and Correctness:

Keith M. Poliakoff, J.D., Town Attorney

**This page
intentionally left blank**

2019 AMENDMENT TO INTERLOCAL AGREEMENT PROVIDING FOR DIVISION AND DISTRIBUTION OF THE PROCEEDS FROM THE BROWARD COUNTY ADDITIONAL THREE-CENT LOCAL OPTION GAS TAX ON MOTOR FUEL

This 2019 Amendment to Interlocal Agreement (the "2019 Amendment") is entered into by and between Broward County, a political subdivision of the State of Florida (the "County"), and the municipalities executing a signature page bearing the above legend, each of which is a municipal corporation existing under the laws of the State of Florida (the "Municipalities") (the County and Municipalities are collectively referred to as the "Parties").

RECITALS

A. Section 336.025(1)(b), Florida Statutes, authorizes the County to extend the levy of the additional three-cent local option gas tax upon every gallon of motor fuel sold in Broward County for a period not to exceed thirty (30) years on a majority vote of the governing body of the County.

B. The Broward County Board of County Commissioners enacted Section 31½-38, Broward County Code of Ordinances, effective January 1, 1994, through December 31, 2024, pursuant to Section 336.025(1)(b), Florida Statutes, imposing the levy of the three-cent (\$.03) local option fuel tax for thirty (30) years and providing for a method of distribution of the proceeds of the tax.

C. The method for distribution of the proceeds is established by an Interlocal Agreement with Municipalities representing a majority of the population of the incorporated area within the County.

D. Paragraph 3 of the Interlocal Agreement requires annual adjustment of the division and distribution of the proceeds based upon the population of the individual Municipalities and unincorporated Broward County in accordance with the population figures set forth in the most current edition of "Florida Estimates of Population," published by the Bureau of Economics and Business Research, Population Division, University of Florida.

NOW, THEREFORE, for good and valuable consideration, and pursuant to the authorization of Section 336.025(1)(b)2., Florida Statutes, the County and Municipalities agree as follows:

1. Paragraph 2 of the Interlocal Agreement, as previously amended, is hereby amended to read:

2. Forty-eight and Seventy-three One-hundredths percent (48.73%) of the total proceeds from the additional three-cent local option fuel tax shall be divided and distributed to the County, and the remaining Fifty-one and Twenty-seven One-hundredths percent (51.27%) of the total proceeds from the additional three-cent local option fuel tax shall be divided among and distributed to the

Municipalities within the County as follows:

$$\frac{\text{Population of Individual Municipality}}{\text{Total Incorporated Area Population}} \times 51.27\% =$$

Recipient	FY20 Percent Share of Proceeds
Coconut Creek	1.588702%
Cooper City	0.923257%
Coral Springs	3.506042%
Dania Beach	0.864686%
Davie	2.809337%
Deerfield Beach	2.139536%
Fort Lauderdale	4.978363%
Hallandale Beach	1.063437%
Hillsboro Beach	0.052227%
Hollywood	4.058019%
Lauderdale-by-the-Sea	0.168798%
Lauderdale Lakes	0.993211%
Lauderhill	1.953773%
Lazy Lake	0.000708%
Lighthouse Point	0.287548%
Margate	1.588293%
Miramar	3.733411%
North Lauderdale	1.221016%
Oakland Park	1.232861%
Parkland	0.891562%
Pembroke Park	0.173836%
Pembroke Pines	4.502520%
Plantation	2.439664%
Pompano Beach	3.005392%
Sea Ranch Lakes	0.018925%
Southwest Ranches	0.209834%
Sunrise	2.523205%
Tamarac	1.760768%
Weston	1.823642%
West Park	0.408040%
Wilton Manors	0.349387%
Total Incorporated	51.270000%

2. Paragraph 3 of the Interlocal Agreement, as previously amended, is hereby

«Municipality»

amended to read:

3. The population figures set out herein are based on the figures contained in the document referred to as the "Florida Estimates of Population," published on an annual basis by the Bureau of Economics and Business Research, Population Division, University of Florida. The population figures to be utilized in the formula described in Paragraph 2 of this Interlocal Agreement for the division and distribution of the proceeds from the additional three-cent local option fuel tax shall be adjusted annually based on the then-current "Florida Estimates of Population."

For the purpose of this Agreement, the population figures are as follows:

Recipient	BEBR Population 4/1/18
Coconut Creek	58,344
Cooper City	33,906
Coral Springs	128,757
Dania Beach	31,755
Davie	103,171
Deerfield Beach	78,573
Fort Lauderdale	182,827
Hallandale Beach	39,054
Hillsboro Beach	1,918
Hollywood	149,028
Lauderdale-by-the-Sea	6,199
Lauderdale Lakes	36,475
Lauderhill	71,751
Lazy Lake	26
Lighthouse Point	10,560
Margate	58,329
Miramar	137,107
North Lauderdale	44,841
Oakland Park	45,276
Parkland	32,742
Pembroke Park	6,384
Pembroke Pines	165,352
Plantation	89,595
Pompano Beach	110,371
Sea Ranch Lakes	695
Southwest Ranches	7,706
Sunrise	92,663

Recipient	BEBR Population 4/1/18
Tamarac	64,663
Weston	66,972
West Park	14,985
Wilton Manors	12,831
Total Incorporated	1,882,856
Unincorporated Area	15,120
Total County	1,897,976

3. This 2019 Amendment shall be effective as of the date it is executed by the County after having previously been executed by the Municipalities cumulatively representing a majority of the incorporated area population of the County; the amended population figures and share of proceeds shall take effect as provided by applicable law.

4. In the event any provision within this 2019 Amendment is found by a court of competent jurisdiction to be invalid, the remaining provisions shall continue to be effective unless the County or any executing Municipality necessary to maintain the cumulative majority referenced in the preceding paragraph elects to terminate the Interlocal Agreement. The election to terminate pursuant to this provision must be made within seven (7) days after such court ruling; provided, however, that if a timely notice appealing the court ruling is filed, the election shall be held in abeyance until the appeal is determined or dismissed.

5. Except to the extent amended, the Interlocal Agreement shall remain in full force and effect. In the event of any conflict between the terms of this 2019 Amendment and the Interlocal Agreement, as previously amended, the Parties acknowledge that this 2019 Amendment shall control.

6. This 2019 Amendment may be executed in several counterparts, each of which so executed shall be deemed to be an original, and such counterparts together shall constitute one and the same instrument.

[THE REMAINDER OF PAGE INTENTIONALLY LEFT BLANK.]

IN WITNESS WHEREOF, the Parties have made and executed this 2019 Amendment to the Interlocal Agreement on the respective dates under each signature: Broward County through its Board of County Commissioners, signing by and through its County Administrator, authorized to execute same by Board action on April 9th, 2019, and each Municipality, signing by and through its _____, duly authorized to execute same.

COUNTY

WITNESSES:

Broward County, by and through
its County Administrator

Print Name: _____

By _____

Bertha Henry
County Administrator

Print Name: _____

_____ day of _____, 20__

Approved as to form by
Andrew J. Meyers
Broward County Attorney
Governmental Center, Suite 423
115 South Andrews Avenue
Fort Lauderdale, Florida 33301
Telephone: (954) 357-7600
Telecopier: (954) 357-7641

By _____

Angela J. Wallace (Date)
Deputy County Attorney

2019 AMENDMENT TO INTERLOCAL AGREEMENT PROVIDING FOR DIVISION AND DISTRIBUTION OF THE PROCEEDS FROM THE BROWARD COUNTY ADDITIONAL THREE-CENT LOCAL OPTION GAS TAX ON MOTOR FUEL

MUNICIPALITY

WITNESSES:

Municipality: SOUTHWEST RANCHES

By _____
Doug McKay, Mayor

25th day of May, 2019.

ATTEST:

By _____
Russell Muniz
Assistant Town Administrator/Town Clerk

Andrew D. Berns, Town Administrator
25th day of May, 2019

(CORPORATE SEAL)

APPROVED AS TO FORM:

By _____
Keith Poliakoff, Town Attorney

2019 AMENDMENT TO INTERLOCAL AGREEMENT PROVIDING FOR DIVISION AND DISTRIBUTION OF THE PROCEEDS FROM THE BROWARD COUNTY ADDITIONAL FIFTH-CENT LOCAL OPTION GAS TAX ON MOTOR FUEL FOR TRANSIT

This 2019 Amendment to Interlocal Agreement (the "2019 Amendment") is entered into by and between Broward County, a political subdivision of the State of Florida (the "County"), and the municipalities executing a signature page bearing the above legend, each of which is a municipal corporation existing under the laws of the State of Florida (the "Municipalities") (the County and Municipalities are collectively referred to as the "Parties").

RECITALS

A. Section 336.025(1)(b), Florida Statutes, authorizes the counties to extend the levy of the additional fifth-cent local option gas tax upon every gallon of motor fuel sold in Broward County for a period not to exceed thirty (30) years on a majority vote of the governing body of the County.

B. On June 13, 2000, the Broward County Board of County Commissioners enacted Ordinance No. 2000-25, effective January 1, 2001, through December 31, 2031, pursuant to Section 336.025(1)(b), Florida Statutes, extending the levy of the additional fifth-cent local option gas tax for thirty (30) years and providing for a method of distribution of the proceeds of the tax.

C. The method for distribution of the proceeds is established by an Interlocal Agreement with Municipalities representing a majority of the population of the incorporated area within the County.

D. Paragraph 4 of the Interlocal Agreement requires annual adjustment of the division and distribution of the proceeds based upon the population of the individual Municipalities and unincorporated Broward County utilizing the population figures set forth in the most current edition of "Florida Estimates of Population," published by the Bureau of Economics and Business Research, Population Division, University of Florida.

NOW, THEREFORE, for good and valuable consideration, and pursuant to Section 336.025(1)(b), Florida Statutes, the County and Municipalities agree as follows:

1. Section 2.1 of the Interlocal Agreement, as previously amended, is hereby amended to read as follows:

2.1 Seventy-four percent (74%) of the total proceeds from the additional fifth-cent local option gas tax shall be distributed to the County, from which amount the County will retain forty-eight percent (48%) of the total proceeds and will distribute twenty-six percent (26%) of the total proceeds to the Municipalities

through Interlocal Agreements for Community Shuttle Services. The remaining twenty-six percent (26%) shall be distributed to the Municipalities as follows:

$$\frac{\text{Population of Individual Municipality}}{\text{Total Incorporated Area Population}} \times 26.0000\%$$

Recipient	BEBR Population 4/1/18	FY20 Percent Share of Proceeds
Coconut Creek	58,344	0.805661%
Cooper City	33,906	0.468201%
Coral Springs	128,757	1.777981%
Dania Beach	31,755	0.438499%
Davie	103,171	1.424669%
Deerfield Beach	78,573	1.085000%
Fort Lauderdale	182,827	2.524623%
Hallandale Beach	39,054	0.539289%
Hillsboro Beach	1,918	0.026485%
Hollywood	149,028	2.057899%
Lauderdale-by-the-Sea	6,199	0.085601%
Lauderdale Lakes	36,475	0.503676%
Lauderhill	71,751	0.990796%
Lazy Lake	26	0.000360%
Lighthouse Point	10,560	0.145821%
Margate	58,329	0.805454%
Miramar	137,107	1.893284%
North Lauderdale	44,841	0.619201%
Oakland Park	45,276	0.625208%
Parkland	32,742	0.452128%
Pembroke Park	6,384	0.088155%
Pembroke Pines	165,352	2.283314%
Plantation	89,595	1.237200%
Pompano Beach	110,371	1.524092%
Sea Ranch Lakes	695	0.009597%
Southwest Ranches	7,706	0.106411%
Sunrise	92,663	1.279566%
Tamarac	64,663	0.892919%
Weston	66,972	0.924804%
West Park	14,985	0.206925%
Wilton Manors	12,831	0.177181%
Total Incorporated	1,882,856	26.000000%

Recipient	BEBR Population 4/1/18	FY20 Percent Share of Proceeds
Unincorporated Area	15,120	
Total County	1,897,976	

The population figures set forth above are based on the figures contained in the document referred to as the "Florida Estimates of Population," published on an annual basis by the Bureau of Economic and Business Research, Population Division, of the University of Florida. The population figures to be utilized in the formula described in this section for the distribution of the additional fifth-cent local option gas tax shall be adjusted annually based on the current Florida Estimates of Population.

2. This 2019 Amendment shall be effective as of the date it is executed by the County after having previously been executed by the Municipalities cumulatively representing a majority of the incorporated area population of the County; the amended population figures and share of proceeds shall take effect as provided by applicable law.

3. In the event any provision within this 2019 Amendment is found by a court of competent jurisdiction to be invalid, the remaining provisions shall continue to be effective unless the County or any executing Municipality necessary to maintain the cumulative majority referenced in the preceding paragraph elects to terminate the Interlocal Agreement. The election to terminate pursuant to this provision must be made within seven (7) days after such court ruling; provided, however, that if a timely notice appealing the court ruling is filed, the election shall be held in abeyance until the appeal is determined or dismissed.

4. Except to the extent amended, the Interlocal Agreement shall remain in full force and effect. In the event of any conflict between the terms of this 2019 Amendment and the Interlocal Agreement, as previously amended, the Parties acknowledge that this 2019 Amendment shall control.

5. This 2019 Amendment may be executed in several counterparts, each of which so executed shall be deemed to be an original, and such counterparts together shall constitute one and the same instrument.

[THE REMAINDER OF PAGE INTENTIONALLY LEFT BLANK.]

IN WITNESS WHEREOF, the Parties hereto have made and executed this 2019 Amendment to the Interlocal Agreement on the respective dates under each signature: Broward County through its Board of County Commissioners, signing by and through its County Administrator, authorized to execute same by Board action on April 9th, 2019, and each Municipality, signing by and through its _____, duly authorized to execute same.

COUNTY

WITNESSES:

Broward County, by and through
its County Administrator

Print Name: _____

By _____

Bertha Henry
County Administrator

Print Name: _____

_____ day of _____, 20____

Approved as to form by
Andrew J. Meyers
Broward County Attorney
Governmental Center, Suite 423
115 South Andrews Avenue
Fort Lauderdale, Florida 33301
Telephone: (954) 357-7600
Telecopier: (954) 357-7641

By _____

Angela J. Wallace (Date)
Deputy County Attorney

**2019 AMENDMENT TO INTERLOCAL AGREEMENT PROVIDING FOR DIVISION
AND DISTRIBUTION OF THE PROCEEDS FROM THE BROWARD COUNTY
ADDITIONAL FIFTH-CENT LOCAL OPTION GAS TAX ON MOTOR FUEL FOR
TRANSIT**

MUNICIPALITY

WITNESSES:

Municipality: SOUTHWEST RANCHES

By _____
Doug McKay, Mayor

25th day of May, 2019.

ATTEST:

Russell Muniz
Assistant Town Administrator/Town Clerk

By _____
Andrew D. Berns, Town Administrator

25th day of May, 2019.

(CORPORATE SEAL)

APPROVED AS TO FORM:

By _____
Keith Poliakoff, Town Attorney

**This page
intentionally left blank**



Office of Management and Budget

115 S. Andrews Avenue, Room 404 • Fort Lauderdale, Florida 33301 • 954-357-6345 • FAX 954-357-6364

April 10, 2019
Dear Municipality:

Attached are the amendments to two interlocal gas tax agreements requiring approval by your municipal governing board no later than June 1, 2019. The two attached amendments for those gas tax agreements are required to adjust each City's percentage share based on updated population figures until they expire in 2024 and 2031. As a reminder, the "Original" Six Cents Local Option Gas Tax was renewed last year for a period of 30 years from FY19-FY48. The updated BEBR population figures and the share of proceeds for FY20 are attached for your information.

Summary of Amendments

The two interlocal agreements and amendments are described below:

- The "additional" local option gas tax agreement levied in 1994 provides for Cities to receive 51.27% of three cents of gas tax. The Cities' share of this gas tax has increased over the years due to annexations, however, there were no annexations of populated areas effective September 2018 so the Cities' share of the three cents of gas tax will remain the same as last year. As a result, this amendment adjusts each City's percentage share of the 51.27% based on updated population figures.
- The "transit gas tax" agreement levied in 2001 provides for Cities to receive 26% of the proceeds of one cent of gas tax. This amendment includes adjustments to each City's percentage share based on updated population figures.

Revisions to Population Figures

The two interlocal agreements provide for the distribution of gas taxes among the Cities based on population figures published annually by the University of Florida Bureau of Economics and Business Research. The interlocal agreements also provide for the population numbers to be revised annually using the most current published figures.

Please place the two amendments on the agenda for approval by the municipal governing board as soon as possible and **return the signed agreement and a copy of your municipal resolution** to the County no later than June 1, 2019. **Once we receive a majority of signed agreements from the cities, our County Attorney's office will execute the agreements and return an executed complete document which includes the agreement, county signature page and city signature pages for your records.** If you have any questions about the amendments, please contact SunJin Zanker from the County's Office of Management and Budget at 954-357-6361.

Attached are copies of the above discussed amendments. **Please return three executed originals of each amendment which includes the agreement, city signature page, and a copy of your municipal resolution to:**

Thomas Hutka, Director
Broward County Public Works Department
Attention: Highway and Bridge Maintenance Division
1600 N.W. 30th Ave. (Blount Road)
Pompano Beach, FL 33069
Ph. (954) 357-6040

Sincerely, 
Norman Foster, Director
Office of Management and Budget

**This page
intentionally left blank**



Town of Southwest Ranches
13400 Griffin Road
Southwest Ranches, FL 33330-2628

(954) 434-0008 Town Hall
(954) 434-1490 Fax

Town Council
Doug McKay, *Mayor*
Gary Jablonski, *Vice Mayor*
Freddy Fisikelli, *Council Member*
Bob Hartmann, *Council Member*
Denise Schroeder, *Council Member*

Andrew D. Berns, *Town Administrator*
Keith M. Poliakoff, *JD, Town Attorney*
Russell Muniz, *Assistant Town Administrator/Town Clerk*
Martin D. Sherwood, *CPA, CGMA, CGFO, Town Financial Administrator*

COUNCIL MEMORANDUM

TO: Honorable Mayor McKay and Town Council
VIA: Andrew D. Berns, Town Administrator
FROM: Russell Muñoz, Assistant Town Administrator/Town Clerk
DATE: 4/25/2019
SUBJECT: Resolution Affirming Oil Drilling Opposition

Recommendation

Town Council consideration for a motion to approve the resolution.

Unanimous Vote of the Town Council Required?

No

Strategic Priorities

- A. Sound Governance
- E. Cultivate a Vibrant Community

Background

On August 13, 2015 the Town Council approved Resolution No. 2015-065 opposing the proposed permit application to the Florida Department of Environmental Protection (FDEP) by Kanter Real Estate LLC to drill an exploratory oil well in the Florida Everglades to assess the feasibility of extracting oil.

If granted, the oil drilling is anticipated to exceed 11,000 feet in depth, well below the area known as the Biscayne Aquifer, which provides the water supply for Southwest Ranches residents and many residents of Broward County. The Town, along with many local agencies including the South Broward Drainage District (SBDD), have expressed substantial concerns about the potential harmful effects of the proposed drilling, including potential adverse environmental impacts such as the degradation and possible contamination of the Biscayne

Aquifer, the substantial impact that such drilling operations will have on the Florida Everglades fragile ecosystem comprised of water supplies, plant and vegetation, as well as the possible harm and injury to wildlife.

On April 3, 2019 SBDD reaffirmed its opposition to the proposition by Kanter Real Estate LLC and the Town wishes to support their efforts by reaffirming the Town's opposition as well.

Fiscal Impact/Analysis

N/A

Staff Contact:

Russell Muñiz, Assistant Town Administrator/Town Clerk

ATTACHMENTS:

Description	Upload Date	Type
Resolution Affirming Oil Drilling Opposition - TA Approved	4/17/2019	Resolution

RESOLUTION NO. 2019 - XXX

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA REAFFIRMING THE TOWN'S OPPOSITION TO THE OIL DRILLING PERMIT APPLICATION SUBMITTED BY KANTER REAL ESTATE LLC, A FLORIDA FOR PROFIT LIMITED LIABILITY CORPORATION, TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION SEEKING OIL DRILLING RIGHTS ON PROPERTY LOCATED IN THE FLORIDA EVERGLADES, APPROXIMATELY FIVE MILES WEST OF THE WESTERNMOST BOUNDARY OF THE SOUTH BROWARD DRAINAGE DISTRICT'S JURISDICTIONAL LIMITS IN CLOSE PROXIMITY TO THE L-67A LEVEE CANAL, AND SUPPORTING EFFORTS OF THE SOUTH BROWARD DRAINAGE DISTRICT OPPOSING EXTREME WELL STIMULATION, HYDRAULIC FRACTURING, ACID FRACTURING, AND ANY FORM OF EXTREME WELL STIMULATION FOR PURPOSES OF OIL EXTRACTION IN THE FLORIDA EVERGLADES; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Kanter Real Estate LLC, a Florida for profit limited liability corporation ("Kanter"), has submitted an application for an oil drilling permit to the Florida Department of Environmental Protection seeking authorization to conduct exploratory oil well drilling operations on property owned by Kanter located approximately five miles west of the westernmost boundary of the South Broward Drainage District's (hereinafter referred to as the "District") jurisdictional limits in close proximity to the L-67A levee canal in the Florida Everglades; and

WHEREAS, if granted, the oil drilling is anticipated to exceed 11,000 feet in depth, well below the area known as the Biscayne Aquifer, which provides the water supply for Southwest Ranches residents and many residents of Broward County; and

WHEREAS, the Town, along with many local agencies including the District, have expressed substantial concerns about the potential harmful effects of the proposed drilling, including potential adverse environmental impacts such as the degradation and possible contamination of the Biscayne Aquifer, the substantial impact that such drilling operations will have on the Florida Everglades fragile ecosystem comprised of water supplies, plant and vegetation, as well as the possible harm and injury to wildlife; and

WHEREAS, the Biscayne Aquifer is extremely vulnerable to both surface and groundwater contaminants due to its high permeability, shallow depths and integrated hydrologic system; and

WHEREAS, the Florida Everglades serves as a major source of recharge to the Biscayne Aquifer through the shallow, southward-moving flow of surface water across its reaches from the southern limits of Lake Okeechobee to the Florida Bay; and

WHEREAS, on August 13, 2015 the Town Council approved Resolution No. 2015-065 opposing the proposed permit application to the Florida Department of Environmental Protection (FDEP) by Kanter Real Estate LLC to drill an exploratory oil well in the Florida Everglades to assess the feasibility of extracting oil (hereinafter referred to as the "Kanter Well Site"); and

WHEREAS, the proposed Kanter Well Site is located approximately 5 miles west of the western limits of the District and in close proximity to the SFWMD L-67 A Canal; and

WHEREAS, the SFWMD L-67 A Canal extends through the Florida Everglades and connects directly to Everglades National Park, located approximately 20 miles south of the proposed Kanter Well Site; and

WHEREAS, the proposed plan for the Kanter Well Site shows the filling and grading of a 5-acre well "pad" area within the Florida Everglades and an exploratory well extending 11,800 feet below the surface; and

WHEREAS, the construction of the well pad will result in 6.83 acres of wetland fill in Water Conservation Area 3B which provides essential water storage and wildlife habitat; and

WHEREAS, there are multiple pathways for contamination to reach fresh water supplies during drilling and oil extraction processes, including leaks in faulty well casings, surface spills, and improper disposal of wastewater; and

WHEREAS, many of the chemical constituents injected during fracturing have documented adverse effects on human health and the environment; and

WHEREAS, there have been more than 1,000 documented cases of water contamination near fracking sites; and

WHEREAS, use of these well stimulation fracturing mixes exposes adjacent land and surface waters to the risk of contamination through open pit storage, truck transport on roadways, and activities during well development such as the exploratory well sought by Kanter; and

WHEREAS, Florida's water supplies and resources are better protected through the prevention of contamination and environmental degradation from the outset, rather

than the cleanup of contamination and restoration of degraded environments after the fact; and

WHEREAS, the Town Council deems it to be in the best interest of the residents and citizens of the Town of Southwest Ranches to reaffirm its vehement opposition to the Kanter oil drilling permit application and resultant operations and to support the efforts of the District in opposing the drilling of an exploratory well at the Kanter Well Site, since the Town of Southwest Ranches is in close proximity to the location of the proposed drilling and will likely suffer substantial adverse impacts associated with the exploratory oil drilling sought by Kanter.

NOW, THEREFORE, BE IT RESOLVED by the Town Council of the Town of Southwest Ranches, Florida:

Section 1: Recitals. The recitals above are true and correct and are incorporated herein by reference.

Section 2: Opposition. That the Town Council hereby publicly reaffirms its vehement opposition to the exploratory oil drilling operations sought by Kanter Real Estate, LLC at the Kanter Well Site and supports the efforts of the South Broward Drainage District in opposing the efforts of Kanter.

Section 3: Opposition. The Town Council hereby opposes extreme well stimulation, hydraulic fracturing, acid fracturing, and any form of extreme well stimulation for purposes of resource extraction in the Florida Everglades.

Section 4: Distribution. The Town Clerk is directed to send a copy of this Resolution to the Governor of the State of Florida, members of the Broward Delegation of the Florida Legislature, the Director of the Florida Department of Environmental Protection, and the Director and Chief Resilience Officer of the Broward County Environmental Planning and Community Resilience Division..

Section 5: Effective Date. This Resolution shall take effect upon its adoption.

[Signatures on Following Page]

PASSED AND ADOPTED by the Town Council of the Town of Southwest Ranches,

Florida, this 25th day of April, 2019, on a motion by

_____ and seconded by _____.

McKay	_____	Ayes	_____
Jablonski	_____	Nays	_____
Fisikelli	_____	Absent	_____
Hartmann	_____	Abstaining	_____
Schroeder	_____		

Doug McKay, Mayor

Attest:

Russell Muniz, Assistant Town Administrator/Town Clerk

Approved as to Form and Correctness:

Keith Poliakoff, Town Attorney